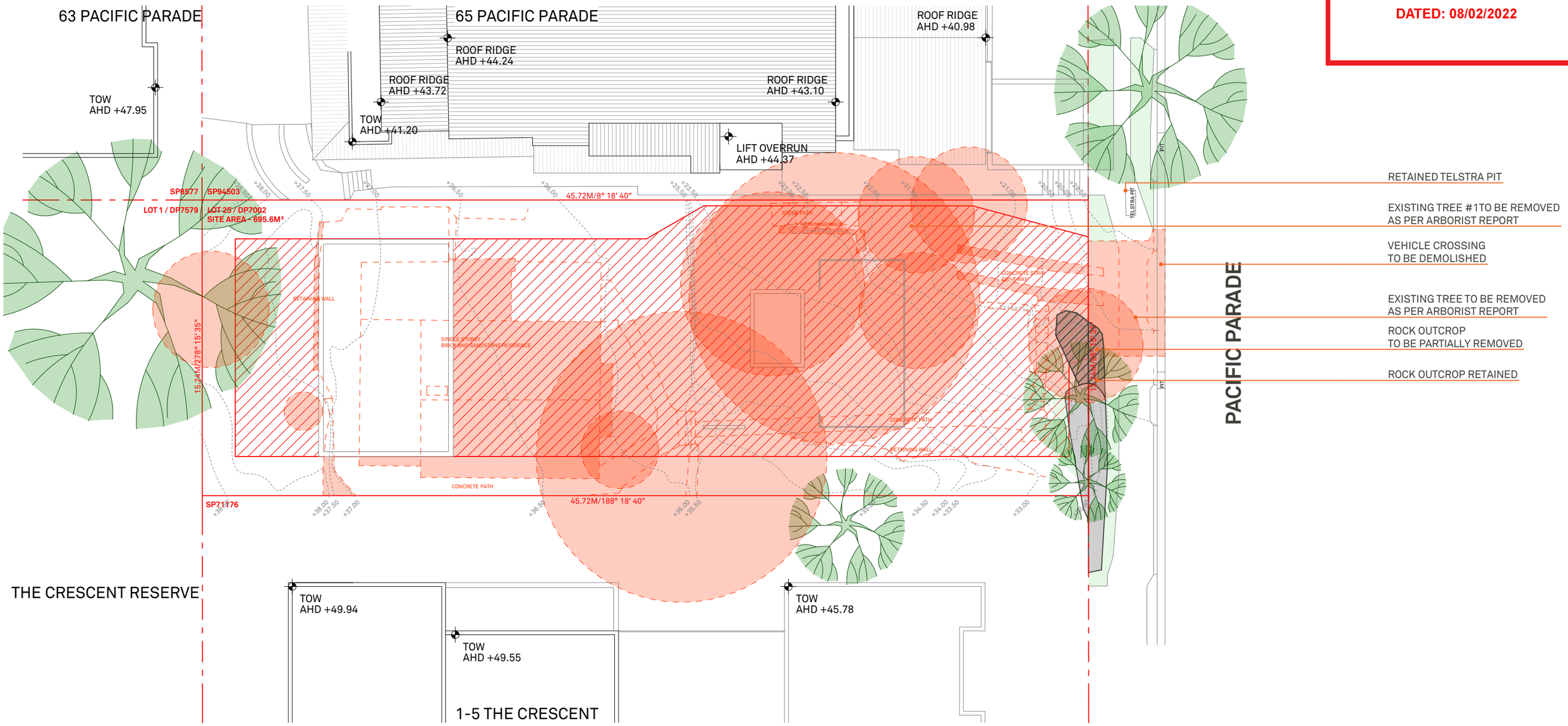
northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022



EXISTING TREE TO BE REMOVED AS PER ARBORIST REPORT

ZONE TO BE EXCAVATED IN ACCORDANCE WITH WASTE/RECYCLING MANAGEMENT PLAN

STRUCTURE TO BE DEMOLISHED IN ACCORDANCE WITH WASTE/RECYCLING MANAGEMENT PLAN

STRUCTURE TO BE DEMOLISHED IN ACCORDANCE WITH WASTE/RECYCLING MANAGEMENT PLAN

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REVISION

Rev	Date	Description
01	25/11/2020	DA ISSUE 01
02	29/04/2021	DA ISSUE 02
03	11/06/2021	DA ISSUE 03

LEGEND

A/C	Air Conditioning Unit	COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
ACC	Accessible	CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
ADP	Adaptable	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
AHD	Aust. Height Datum	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
B	Basement	DP	Down Pipe	GM	Gas Meter	SW	Sewer
BAL	Balustrade	DW	Dishwasher	H	Hydraulic Services	ST	Storage
BALC	Balcony	F	Fridge	LY	Laundry	SD	Study
BED	Bedroom	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
BT	Bathroom	FFL	Finish floor level	MC	Motorcycle Parking	STW	Stormwater
COL	Column	FN	Fence	MSB	Main Switch Board	SFL	Structural floor level
COMM	Comms Room	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
		FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
		GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

CLIENT
BL 2093 PTY LTD
PO BOX 1231
MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
DEMOLITION PLAN

SCALE	APPROVED	NORTH
1:200@A3	GM	
STATUS	DRAWN BY	
DA	DB	
PROJECT No	DRAWING No	REV
2004A	DA-0013	03

STUDIO 5, 505 BALMAIN RD
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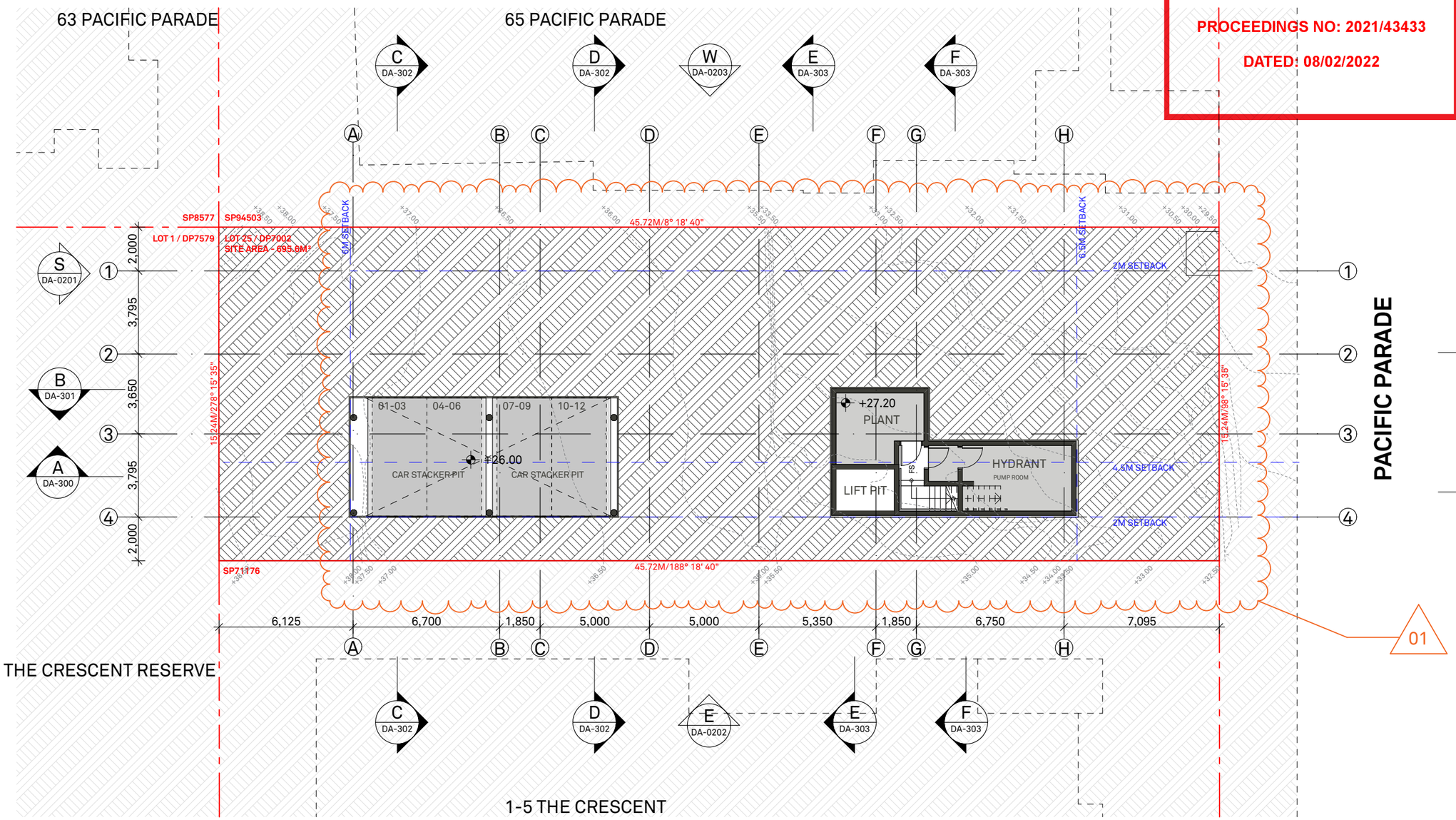
BENSON McCORMACK ARCHITECTURE



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PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022

NORTHERN BEACHES COUNCIL

WARRINGAH LEP 2011

LAND ZONING	R3
MIN. LOT SIZE	NA
FSR	NA
HEIGHT OF BUILDING	11M (ZONE L)
LAND RESERVATION	NA
HERITAGE	NA
FLOOD	NA
ACID SULFATE	NA
KEY SITE	NA
BIODIVERSITY	NA
LANDSLIP RISK	AREA B

ROOM TABLE

	PROPOSED	
	Room	Com. Room
LOWER GROUND	-	-
UPPER GROUND	5	-
LEVEL 01	9	-
LEVEL 02	9	-
LEVEL 03	3	1
LEVEL 04	-	-
TOTAL	26	1

26 (INCLUDING 2 ACCESSIBLE & MANAGER ROOMS)

CAR PARK

PARKING RATE

ARHSEPP RATE APPLIED: BOARDING HOUSI

0.5 SPACE PER MICRO APPARTMENT DWELI

RESIDENTIAL: 25 ROOMS + 1 MANAGER

		REQUIRED	PROPOSED
VEHICLE	Residential	13	13
	Visitor	-	-
MOTORCYCLE		5	5
BICYCLE	Residential	5	6

TOTAL PARKING PROVIDED

13 (INCLUDING 1 ACCESSIBLE SPACE)

SUMMARY OF CHANGES

01 REMOVE VEHICULAR AND PEDESTRIAN ACCESS; RELOCATE 7x CARS, 5x MOTORCYCLE AND 5x BICYCLE SPACES; INSTALL CAR STACKERS ABOVE

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LEGEND

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		CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
A/C	Air Conditioning Unit	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
ACC	Accessible	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
ADP	Adaptable	DP	Down Pipe	GM	Gas Meter	SW	Sewer
AHD	Aust. Height Datum	DW	Dishwasher	H	Hydraulic Services	ST	Storage
B	Basement	F	Fridge	LY	Laundry	SD	Study
BAL	Balustrade	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
BALC	Balcony	FFL	Finish floor level	MC	Motorcycle Parking	STW	Stormwater
BED	Bedroom	FN	Fence	MSB	Main Switch Board	SFL	Structural floor level
BT	Bathroom	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
COL	Column	FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
COMM	Comms Room	GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

CLIENT
BL 2093 PTY LTD
PO BOX 1231
MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
GENERAL ARRANGEMENT - BASEMENT PLAN

SCALE **1:200@A3**
STATUS **DA**
PROJECT No **2004A**

APPROVED **GM**
DRAWN BY **DB**
DRAWING No **DA-0100**

NORTH

REV **03**

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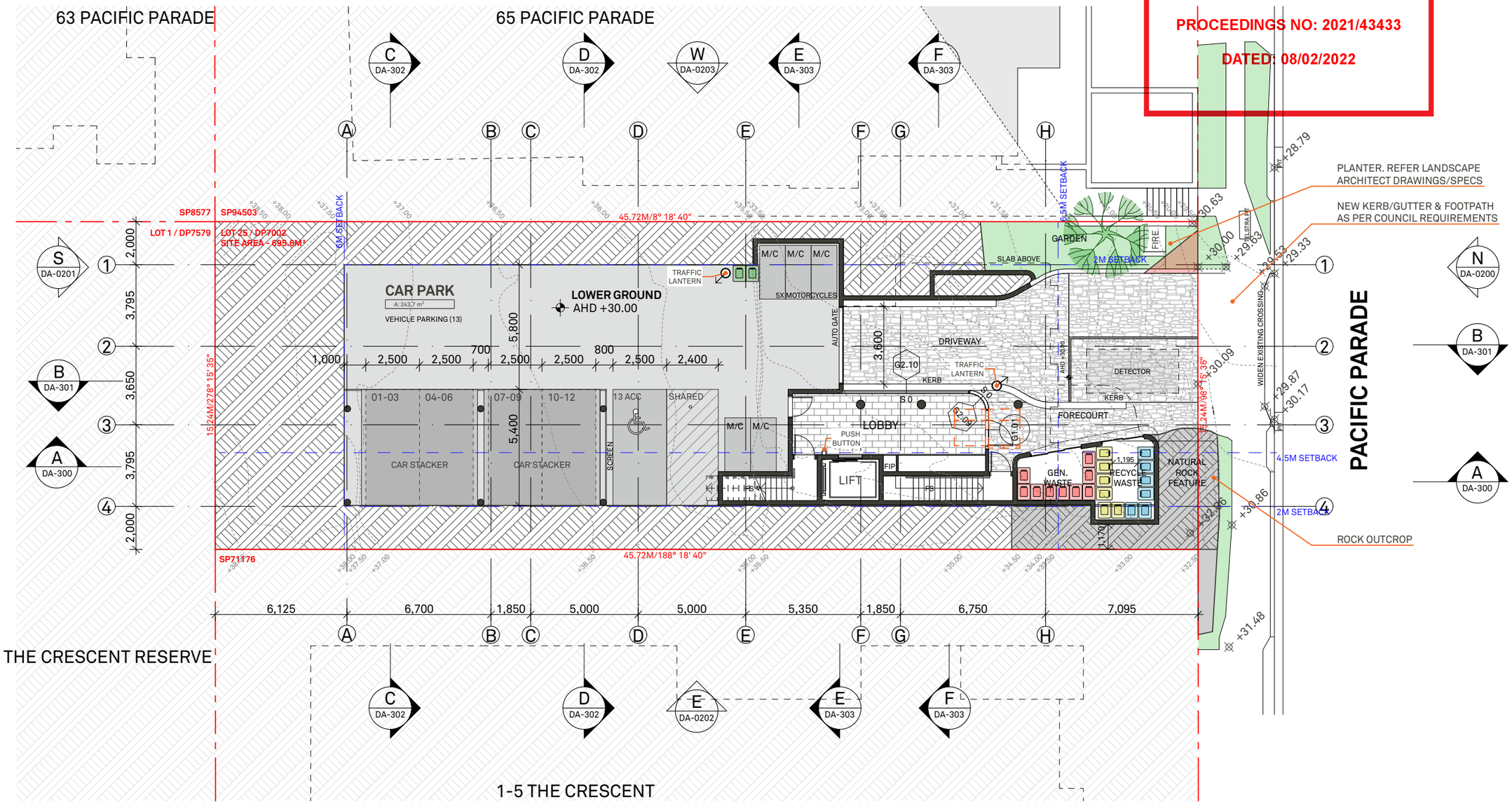
BENSON McCORMACK ARCHITECTURE



northern beaches council

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PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022

NORTHERN BEACHES COUNCIL

WARRINGAH LEP 2011

LAND ZONING	R3
MIN. LOT SIZE	NA
FSR	NA
HEIGHT OF BUILDING	11M (ZONE L)
LAND RESERVATION	NA
HERITAGE	NA
FLOOD	NA
ACID SULFATE	NA
KEY SITE	NA
BIODIVERSITY	NA
LANDSLIP RISK	AREA B

ROOM TABLE

	PROPOSED	
	Room	Com. Room
LOWER GROUND	-	-
UPPER GROUND	5	-
LEVEL 01	9	-
LEVEL 02	9	-
LEVEL 03	3	1
LEVEL 04	-	-
TOTAL	26	1

26 (INCLUDING 2 ACCESSIBLE & MANAGER ROOMS)

CAR PARK

PARKING RATE

ARHSEPP RATE APPLIED: BOARDING HOUSI

0.5 SPACE PER MICRO APPARTMENT DWELI

RESIDENTIAL: 25 ROOMS + 1 MANAGER

		REQUIRED	PROPOSED
	Residential	13	13
VEHICLE	Visitor	-	-
MOTORCYCLE		5	5
BICYCLE	Residential	5	6

TOTAL PARKING PROVIDED
13 (INCLUDING 1 ACCESSIBLE SPACE)

WASTE MANAGEMENT

25 UNITS + 1 MANAGER

		REQUIRED (Northern Beaches DCP)*	PROVIDED
GENERAL WASTE	Red	9	9
RECYCLING	Yellow	6	7
	Blue	6	7
VEGETATION	Green	2	2
	TOTAL	**23**	**25**

* Northern Beaches Waste Management Guidelines (for development in the area of WLEP2011 and WLEP 2000) - Appendix A

COLLECTION:
GENERAL WASTE - 1 x weekly
RECYCLING (YELLOW) - 1 x weekly
RECYCLING (BLUE) - 1 x weekly

SUMMARY OF CHANGES

01 REMOVE VEHICULAR ACCESS TO BASEMENT; INSTALL CAR STACKING MECHANISM (12 CARS); INSTALL INTERNAL TRAFFIC LIGHT SYSTEM; PROVIDE 1x ACCESSIBLE CAR SPACE; 5x MOTOR-CYCLE SPACES; WIDEN VEHICULAR CROSSING; INCREASE LANDSCAPING AREA AND INCREASE SOIL DEPTH IN SOME AREAS; REMOVE GARBAGE STORE AND REPLACE WITH HOLDING AREA

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LEGEND

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AHD	Aust. Height Datum	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
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BAL	Balustrade	DW	Dishwasher	H	Hydraulic Services	ST	Storage
BALC	Balcony	F	Fridge	LY	Laundry	SD	Study
BED	Bedroom	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
BT	Bathroom	FFL	Finish floor level	MC	Motorcycle Parking	STW	Stormwater
COL	Column	FN	Fence	MSB	Main Switch Board	SFL	Structural floor level
COMM	Comms Room	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
		FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
		GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

CLIENT
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PO BOX 1231
MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
GENERAL ARRANGEMENT - LOWER GROUND PLAN

SCALE	APPROVED	NORTH
1:200@A3	GM	
STATUS	DRAWN BY	
DA	DB	
PROJECT No	DRAWING No	REV
2004A	DA-0101	03

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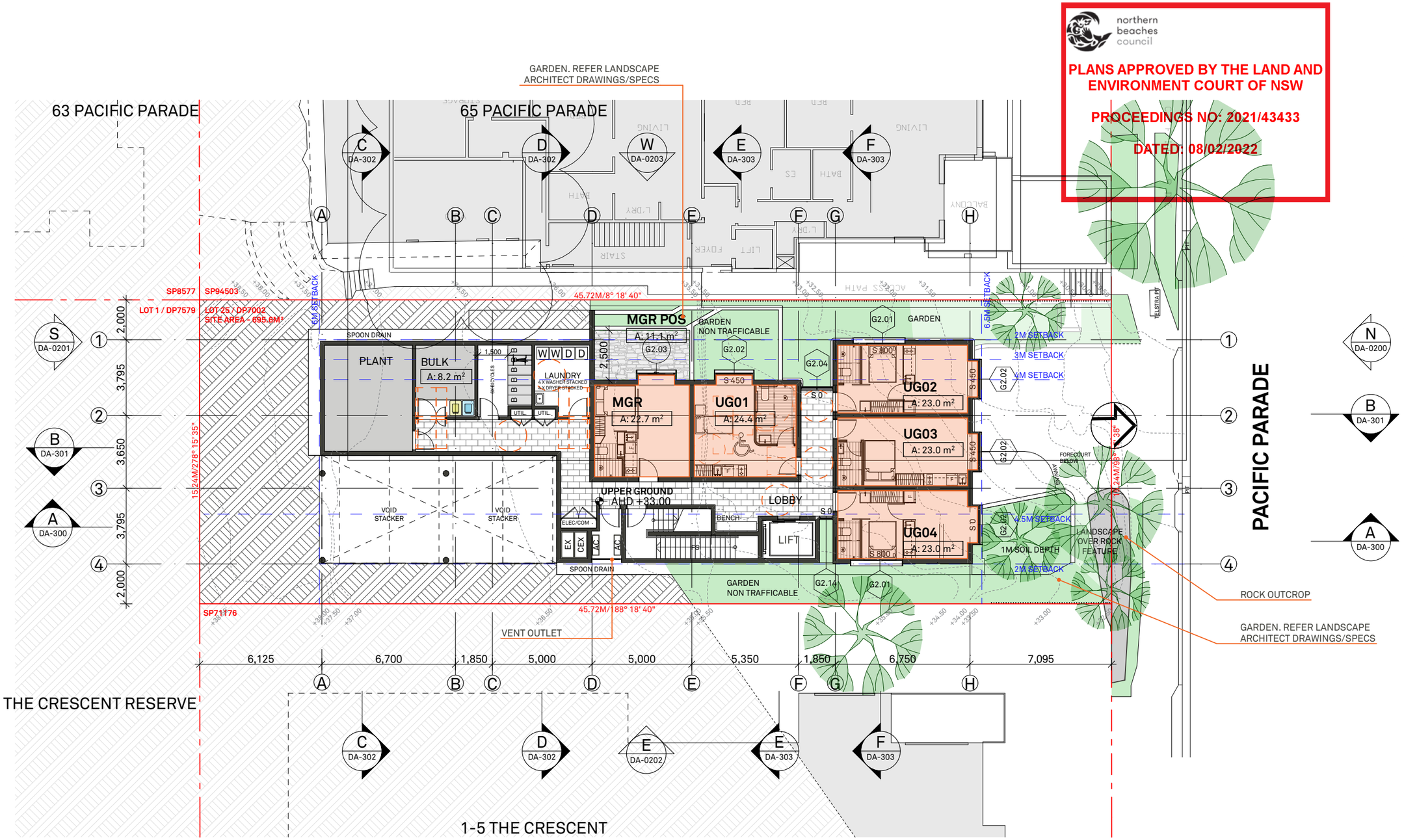
BENSON McCORMACK ARCHITECTURE



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NORTHERN BEACHES COUNCIL

WARRINGAH LEP 2011

LAND ZONING	R3
MIN. LOT SIZE	NA
FSR	NA
HEIGHT OF BUILDING	11M (ZONE L)
LAND RESERVATION	NA
HERITAGE	NA
FLOOD	NA
ACID SULFATE	NA
KEY SITE	NA
BIODIVERSITY	NA
LANDSLIP RISK	AREA B

ROOM TABLE

	PROPOSED	
	Room	Com. Room
LOWER GROUND	-	-
UPPER GROUND	5	-
LEVEL 01	9	-
LEVEL 02	9	-
LEVEL 03	3	1
LEVEL 04	-	-
TOTAL	26	1

26 (INCLUDING 2 ACCESSIBLE & MANAGER ROOMS)

SUMMARY OF CHANGES

01 INSTALL CAR STACKING MECHANISM BELOW (VOID); RELOCATE COMMON ROOM; REMOVE 1x ROOM; INSTALL 6x BICYCLE SPACES; RELOCATE LAUNDRY; INSTALL GARBAGE AND BULK STORE WITH ADDITIONAL RECYCLING BINS; REMOVE TRELLIS AND INCREASE AT-GRADE LANDSCAPING AND SOIL DEPTH IN SOME AREAS; RE-LABEL ROOM NAMES

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LEGEND

A/C	Air Conditioning Unit	COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
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ADP	Adaptable	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
AHD	Aust. Height Datum	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
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BAL	Balustrade	DW	Dishwasher	H	Hydraulic Services	ST	Storage
BALC	Balcony	F	Fridge	LY	Laundry	SD	Study
BED	Bedroom	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
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COL	Column	FN	Fence	MSB	Main Switch Board	SFL	Structural floor level
COMM	Comms Room	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
		FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
		GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

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PO BOX 1231
MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
GENERAL ARRANGEMENT - UPPER GROUND PLAN

SCALE **1:200@A3**
STATUS **DA**
PROJECT No **2004A**

APPROVED **GM**
DRAWN BY **DB**
DRAWING No **DA-0102**

NORTH
REV **03**

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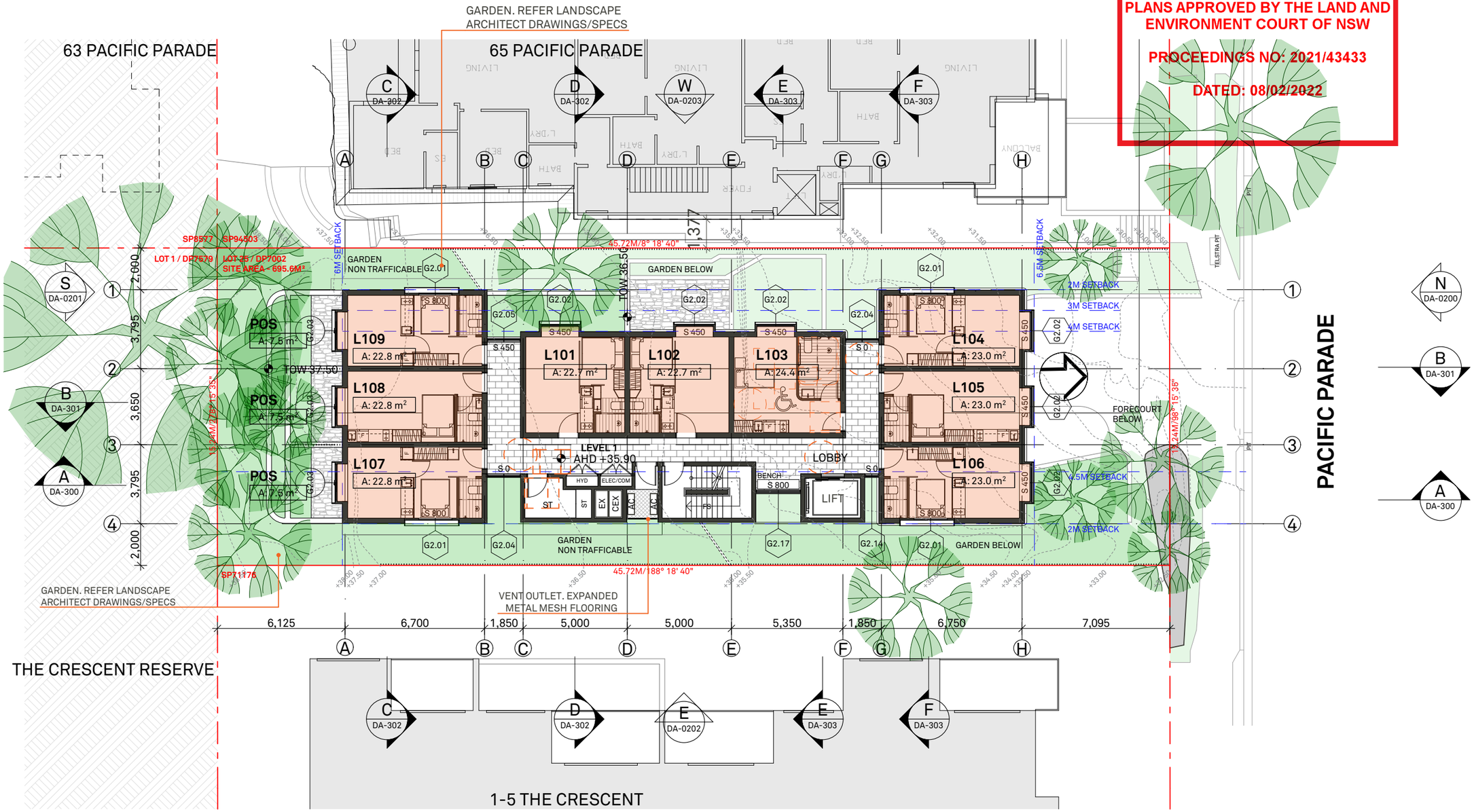

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NORTHERN BEACHES COUNCIL

WARRINGAH LEP 2011

LAND ZONING	R3
MIN. LOT SIZE	NA
FSR	NA
HEIGHT OF BUILDING	11M (ZONE L)
LAND RESERVATION	NA
HERITAGE	NA
FLOOD	NA
ACID SULFATE	NA
KEY SITE	NA
BIODIVERSITY	NA
LANDSLIP RISK	AREA B

ROOM TABLE

	PROPOSED	
	Room	Com. Room
LOWER GROUND	-	-
UPPER GROUND	5	-
LEVEL 01	9	-
LEVEL 02	9	-
LEVEL 03	3	1
LEVEL 04	-	-
TOTAL	26	1

26 (INCLUDING 2 ACCESSIBLE & MANAGER ROOMS)

SUMMARY OF CHANGES

01 RELOCATE COMMON ROOM; INSTALL 3x ADDITIONAL ROOMS; REPLACE COMMUNAL OPEN SPACE WITH PRIVATE OPEN SPACE.

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LEGEND

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MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
GENERAL ARRANGEMENT - LEVEL 1 PLAN

SCALE **1:200@A3**
STATUS **DA**
PROJECT No **2004A**
APPROVED **GM**
DRAWN BY **DB**
DRAWING No **DA-0103**
REV **03**
NORTH

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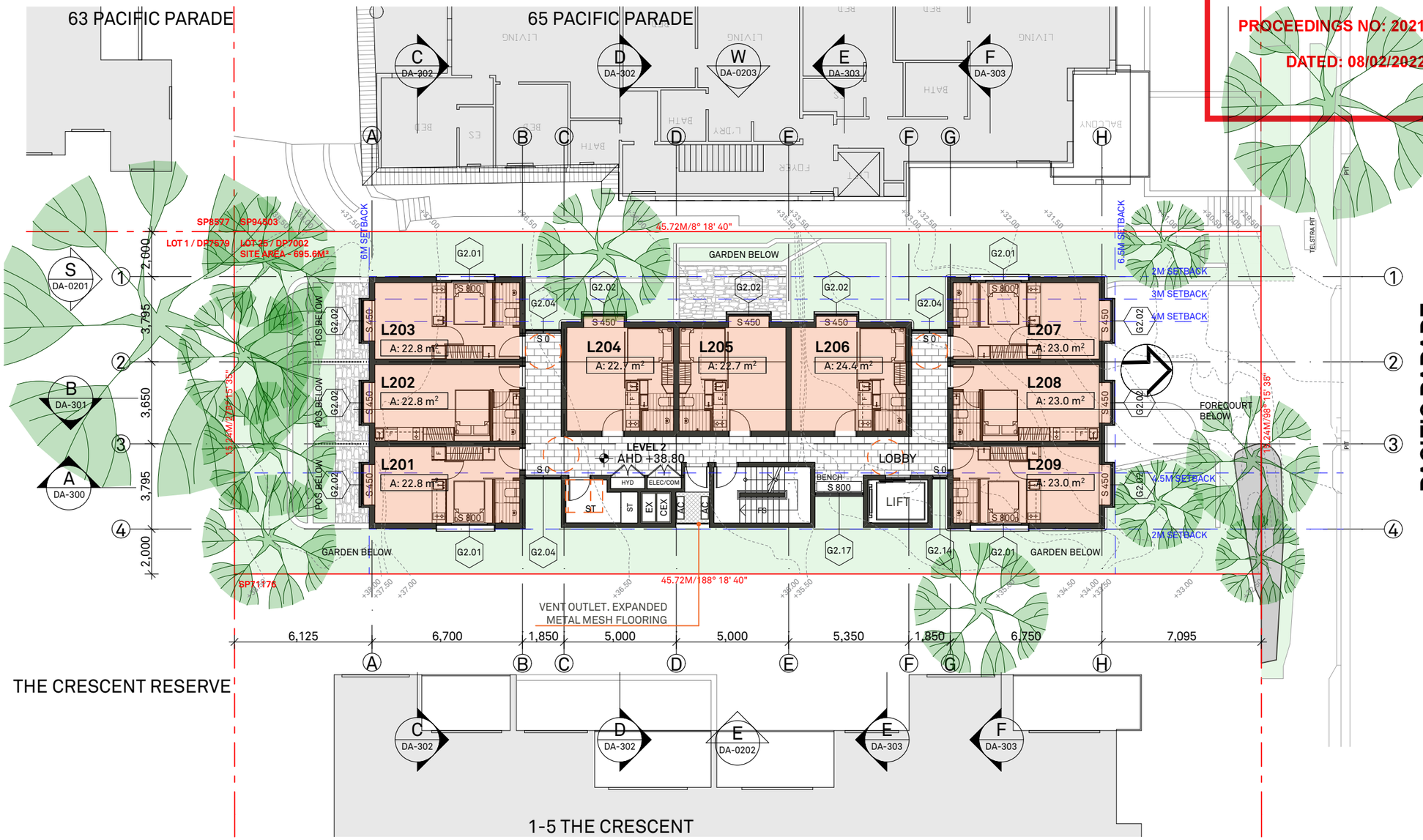

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FSR	NA
HEIGHT OF BUILDING	11M (ZONE L)
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HERITAGE	NA
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BIODIVERSITY	NA
LANDSLIP RISK	AREA B

ROOM TABLE

	PROPOSED	
	Room	Com. Room
LOWER GROUND	-	-
UPPER GROUND	5	-
LEVEL 01	9	-
LEVEL 02	9	-
LEVEL 03	3	1
LEVEL 04	-	-
TOTAL	26	1

26 (INCLUDING 2 ACCESSIBLE & MANAGER ROOMS)

SUMMARY OF CHANGES

01 SHOW PRIVATE OPEN SPACE BELOW; SHOW AMENDED LANDSCAPED AREAS BELOW.

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CLIENT
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PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
GENERAL ARRANGEMENT - LEVEL 2 PLAN

SCALE **1:200@A3**
STATUS **DA**
PROJECT No **2004A**
APPROVED **GM**
DRAWN BY **DB**
DRAWING No **DA-0104**
REV **03**
NORTH

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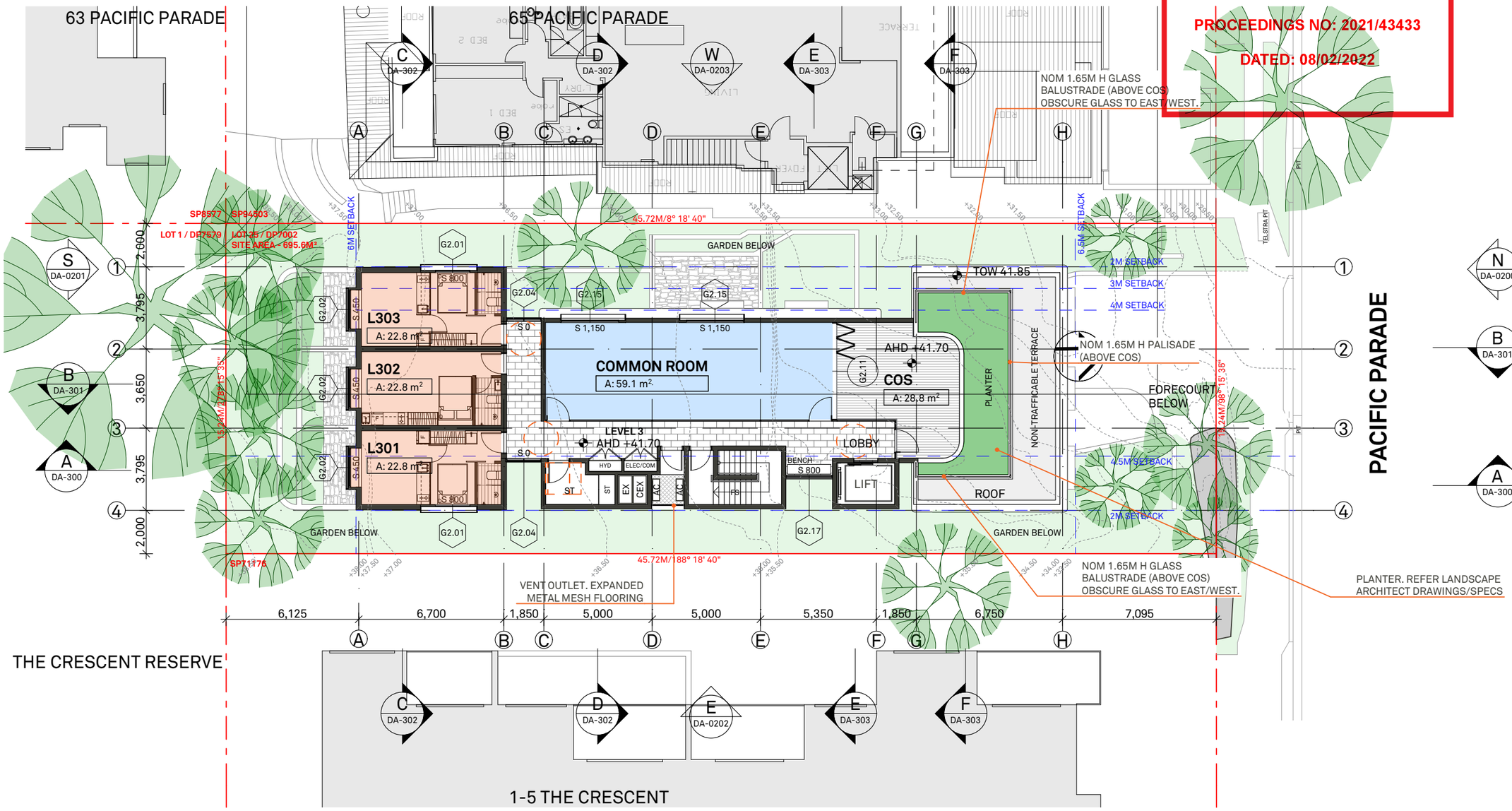

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FLOOD	NA
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ROOM TABLE

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	Room	Com. Room
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LEVEL 03	3	1
LEVEL 04	-	-
TOTAL	26	1

26 (INCLUDING 2 ACCESSIBLE & MANAGER ROOMS)

SUMMARY OF CHANGES

01 CONVERT ROOMS L301-303 FROM TYPE E TO TYPE B (REMOVE LOFT BEDROOMS ABOVE); REMOVE 2x ROOMS; REPLACE WITH LARGER COMMON ROOM; REDUCE AREA OF COMMUNAL OPEN SPACE; PROVIDE PRIVACY SCREENS TO COS

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Rev	Date	Description
01	25/11/2020	DA ISSUE 01
02	29/04/2021	DA ISSUE 02
03	11/06/2021	DA ISSUE 03

LEGEND

		COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
		CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
A/C	Air Conditioning Unit	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
ACC	Accessible	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
ADP	Adaptable	DP	Down Pipe	GM	Gas Meter	SW	Sewer
AHD	Aust. Height Datum	DW	Dishwasher	H	Hydraulic Services	ST	Storage
B	Basement	F	Fridge	LY	Laundry	SD	Study
BAL	Balustrade	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
BALC	Balcony	FFL	Finish floor level	MC	Motorcycle Parking	STW	Stormwater
BED	Bedroom	FN	Fence	MSB	Main Switch Board	SFL	Structural floor level
BT	Bathroom	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
COL	Column	FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
COMM	Comms Room	GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

CLIENT
BL 2093 PTY LTD
PO BOX 1231
MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
GENERAL ARRANGEMENT - LEVEL 3 PLAN

SCALE	APPROVED	NORTH
1:200@A3	GM	
STATUS	DRAWN BY	
DA	DB	
PROJECT No	DRAWING No	REV
2004A	DA-0105	03

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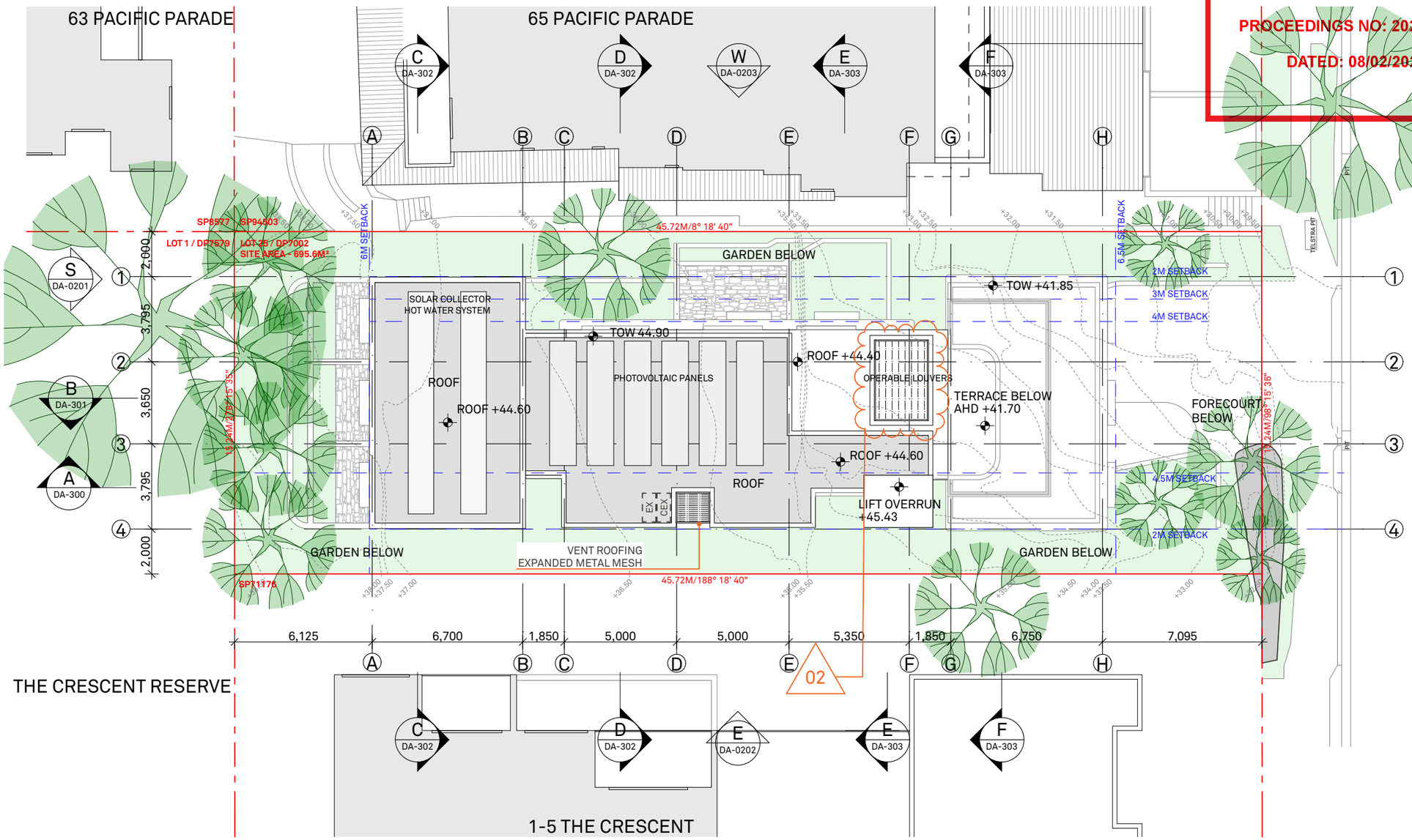

northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022

NORTHERN BEACHES COUNCIL

WARRINGAH LEP 2011

LAND ZONING	R3
MIN. LOT SIZE	NA
FSR	NA
HEIGHT OF BUILDING	11M (ZONE L)
LAND RESERVATION	NA
HERITAGE	NA
FLOOD	NA
ACID SULFATE	NA
KEY SITE	NA
BIODIVERSITY	NA
LANDSLIP RISK	AREA B

ROOM TABLE

	PROPOSED	
	Room	Com. Room
LOWER GROUND	-	-
UPPER GROUND	5	-
LEVEL 01	9	-
LEVEL 02	9	-
LEVEL 03	3	1
LEVEL 04	-	-
TOTAL	26	1

26 (INCLUDING 2 ACCESSIBLE & MANAGER ROOMS)

SUMMARY OF CHANGES

01 CONVERT ROOMS L301-303 FROM TYPE E TO TYPE B (REMOVE LOFT BEDROOMS); REDUCE OVERALL BUILDING HEIGHT; RELOCATE PV'S TO LOWER ROOF (SOUTHERN END)

02 ADD OPERABLE LOUVERS TO INCREASE SOLAR ACCESS IN COMMON ROOM

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LEGEND

		COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
		CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
A/C	Air Conditioning Unit	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
ACC	Accessible	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
ADP	Adaptable	DP	Down Pipe	GM	Gas Meter	SW	Sewer
AHD	Aust. Height Datum	DW	Dishwasher	H	Hydraulic Services	ST	Storage
B	Basement	F	Fridge	LY	Laundry	SD	Study
BAL	Balustrade	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
BALC	Balcony	FFL	Finish floor level	MC	Motorcycle Parking	STW	Stormwater
BED	Bedroom	FN	Fence	MSB	Main Switch Board	SFL	Structural floor level
BT	Bathroom	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
COL	Column	FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
COMM	Comms Room	GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

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MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
GENERAL ARRANGEMENT - ROOF PLAN

SCALE **1:200@A3**
STATUS **DA**
PROJECT No **2004A**
APPROVED **GM**
DRAWN BY **DB**
DRAWING No **DA-0106**
REV **03**
NORTH

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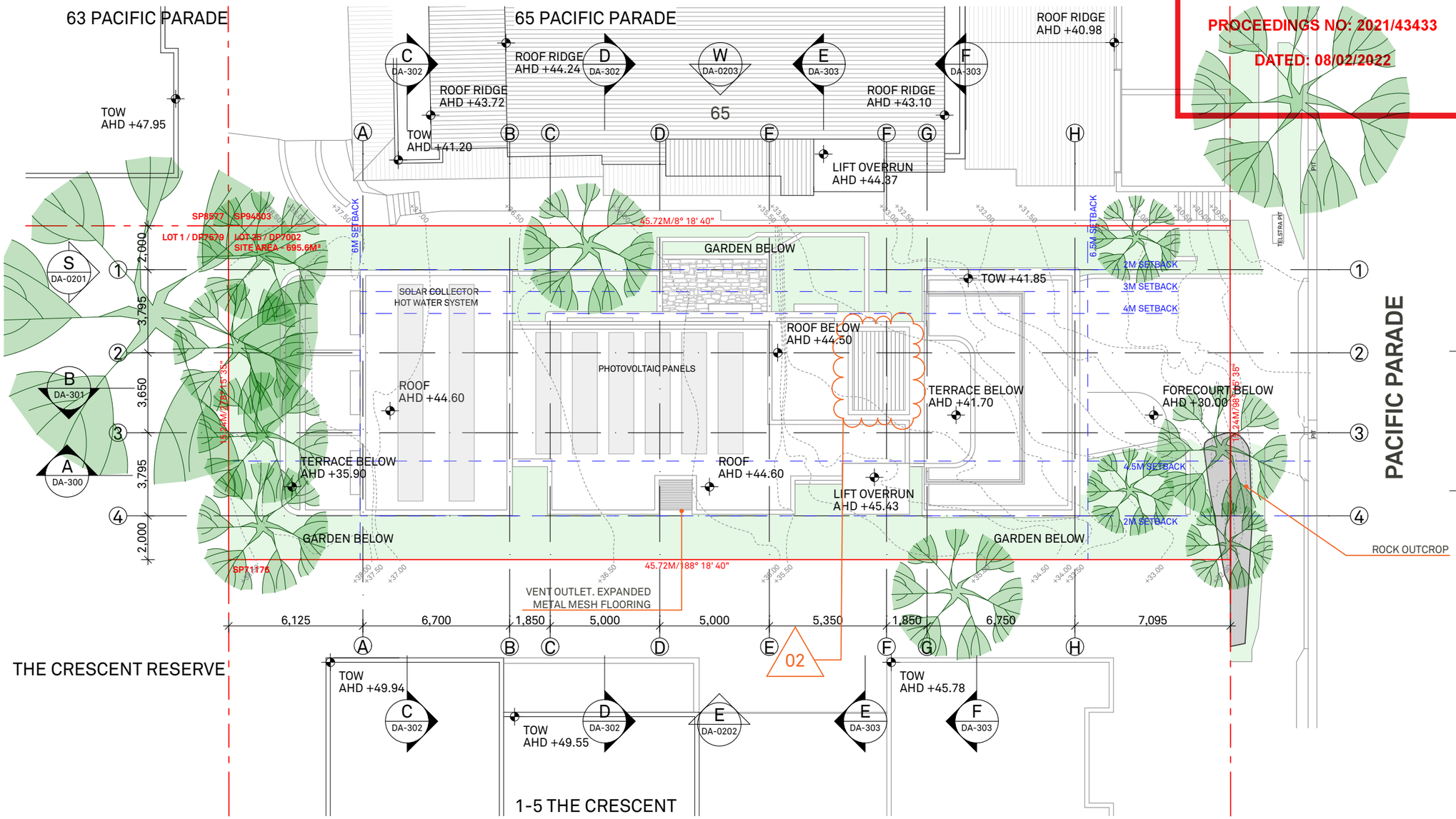

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PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022

NORTHERN BEACHES COUNCIL

WARRINGAH LEP 2011

LAND ZONING	R3
MIN. LOT SIZE	NA
FSR	NA
HEIGHT OF BUILDING	11M (ZONE L)
LAND RESERVATION	NA
HERITAGE	NA
FLOOD	NA
ACID SULFATE	NA
KEY SITE	NA
BIODIVERSITY	NA
LANDSLIP RISK	AREA B

SUMMARY OF CHANGES

01 CONVERT ROOMS L301-303 FROM TYPE E TO TYPE B (REMOVE LOFT BEDROOMS); REDUCE OVERALL BUILDING HEIGHT; RELOCATE PV'S TO LOWER ROOF (SOUTHERN END)

02 ADD OPERABLE LOUVERS TO INCREASE SOLAR ACCESS IN COMMON ROOM

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LEGEND

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		CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
A/C	Air Conditioning Unit	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
ACC	Accessible	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
ADP	Adaptable	DP	Down Pipe	GM	Gas Meter	SW	Sewer
AHD	Aust. Height Datum	DW	Dishwasher	H	Hydraulic Services	ST	Storage
B	Basement	F	Fridge	LY	Laundry	SD	Study
BAL	Balustrade	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
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COL	Column	FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
COMM	Comms Room	GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

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PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
GENERAL ARRANGEMENT - SITE PLAN

SCALE	APPROVED	NORTH
1:200@A3	GM	
STATUS	DRAWN BY	
DA	DB	
PROJECT No	DRAWING No	REV
2004A	DA-0107	03

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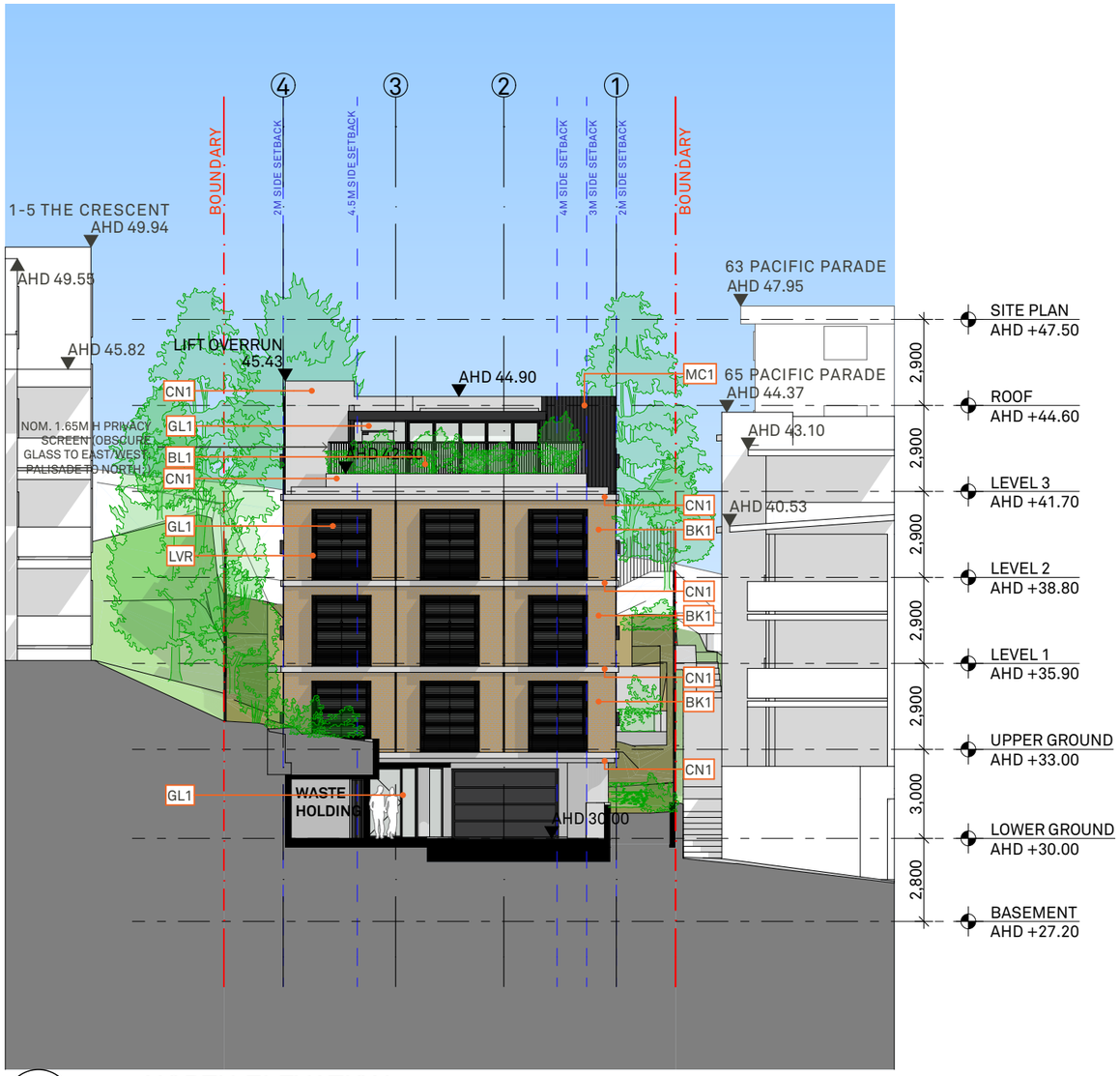

1 NORTH ELEVATION
1:200

2 3D VIEW - NORTH ELEVATION

FINISHES LEGEND:

CN1 - OFF FORM CONCRETE NATURAL LIGHT COLOUR
BK1 - BRICK VENEER - LIGHT BEIGE COLOUR
MC1 - ANODISED ALUMINIUM CLADDING - DARK COLOUR
LVR - ANODISED ALUMINIUM BLINDS - DARK COLOUR
STN - STONE CLADDING SAND STONE
GL1 - POWDERCOATED ALUM. FRAME & CLEAR GLAZING
GL2 - POWDERCOATED ALUM. FRAME & OBSCURE GLAZING
BL1 - BALUSTRADE: OBSCURE GLASS TO EAST/WEST; PALISADE TO NORTH

SUMMARY OF CHANGES

01 DELETE LOFT BEDROOMS; REPLACE TYPE E ROOM WITH TYPE B

02 REPLACE GARBAGE STORE WITH HOLDING AREA; WIDEN DRIVEWAY; REDUCE GARAGE DOOR WIDTH; INCREASE LANDSCAPED AREA AT THE NW BOUNDARY; INCREASE SOIL DEPTH ABOVE WASTE ROOMS.

03 PRIVACY SCREEN TO COMMUNAL OPEN SPACE

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LEGEND

A/C	Air Conditioning Unit	COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
ACC	Accessible	CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
ADP	Adaptable	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
AHD	Aust. Height Datum	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
B	Basement	DP	Down Pipe	GM	Gas Meter	SW	Sewer
BAL	Balustrade	DW	Dishwasher	H	Hydraulic Services	ST	Storage
BALC	Balcony	F	Fridge	LY	Laundry	SD	Study
BED	Bedroom	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
BT	Bathroom	FFL	Finish floor level	MC	Motorcycle Parking	STW	Stormwater
COL	Column	FN	Fence	MSB	Main Switch Board	SFL	Structural floor level
COMM	Comms Room	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
		FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
		GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

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PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
ELEVATIONS - NORTH ELEVATION

SCALE **1:200@A3**
APPROVED **GM**
NORTH
STATUS **DA**
DRAWN BY **DB**
PROJECT No **2004A**
DRAWING No **DA-0200**
REV **03**

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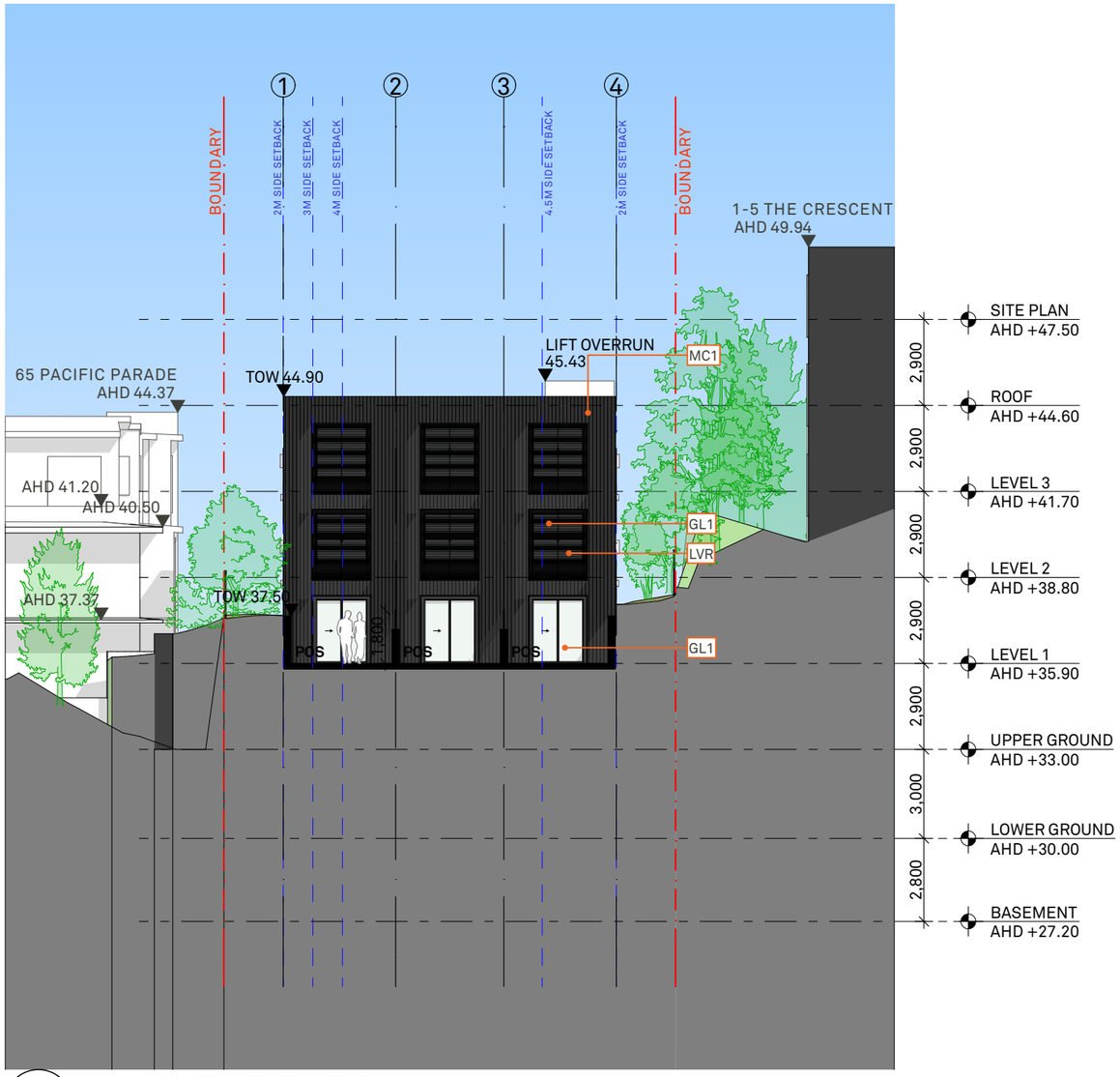

1 SOUTH ELEVATION
1:200

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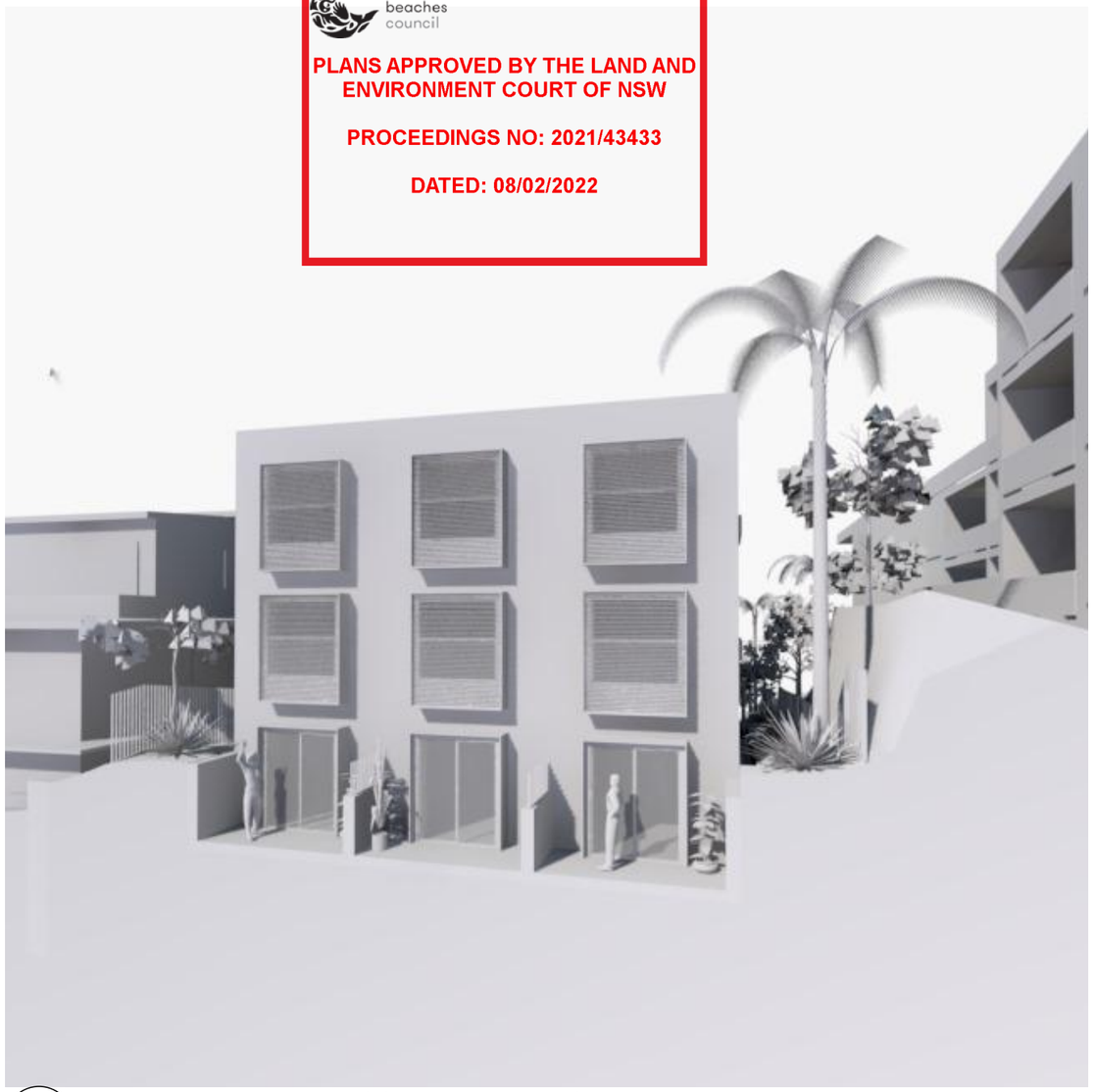
PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022



2 3D VIEW - SOUTH ELEVATION

FINISHES LEGEND:

CN1 - OFF FORM CONCRETE NATURAL LIGHT COLOUR
BK1 - BRICK VENEER - LIGHT BEIGE COLOUR
MC1 - ANODISED ALUMINIUM CLADDING - DARK COLOUR
LVR - ANODISED ALUMINIUM BLINDS - DARK COLOUR
STN - STONE CLADDING SAND STONE
GL1 - POWDERCOATED ALUM. FRAME & CLEAR GLAZING
GL2 - POWDERCOATED ALUM. FRAME & OBSCURE GLAZING
BL1 - BALUSTRADE: OBSCURE GLASS TO EAST/WEST; PALISADE TO NORTH

SUMMARY OF CHANGES

01 DELETE LOFT BEDROOMS; REPLACE TYPE E ROOM WITH TYPE B

02 REPLACE COMMON ROOM AND COMMUNAL OPEN SPACE WITH 3x ROOMS AND PRIVATE OPEN SPACE

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03	11/06/2021	DA ISSUE 03

LEGEND

A/C	Air Conditioning Unit	COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
ACC	Accessible	CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
ADP	Adaptable	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
AHD	Aust. Height Datum	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
B	Basement	DP	Down Pipe	GM	Gas Meter	SW	Sewer
BAL	Balustrade	DW	Dishwasher	H	Hydraulic Services	ST	Storage
BALC	Balcony	F	Fridge	LY	Laundry	SD	Study
BED	Bedroom	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
BT	Bathroom	FFL	Finish floor level	MC	Motorcycle Parking	STW	Stormwater
COL	Column	FN	Fence	MSB	Main Switch Board	SFL	Structural floor level
COMM	Comms Room	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
		FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
		GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

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MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
ELEVATIONS - SOUTH ELEVATION

SCALE	APPROVED	NORTH
1:200@A3	GM	
STATUS	DRAWN BY	
DA	DB	
PROJECT No	DRAWING No	REV
2004A	DA-0201	03

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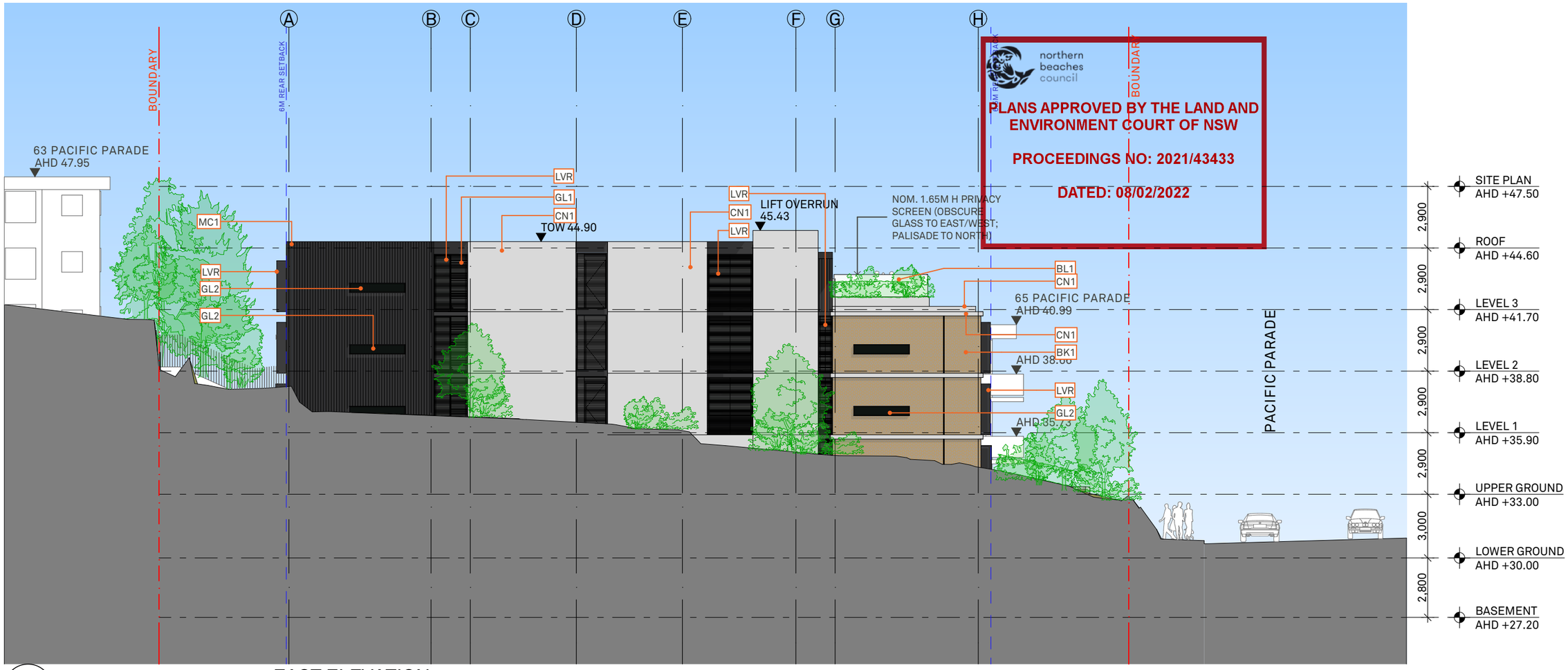

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PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022

1 EAST ELEVATION
1:200

2 3D VIEW - EAST ELEVATION

SUMMARY OF CHANGES

01 DELETE LOFT BEDROOMS; REPLACE TYPE E ROOM WITH TYPE B

02 REPLACE COMMON ROOM AND COMMUNAL OPEN SPACE WITH 3x ROOMS AND PRIVATE OPEN SPACE

03 REDUCE AREA OF COMMUNAL OPEN SPACE; PRIVACY SCREEN TO COMMUNAL OPEN SPACE

FINISHES LEGEND:

CN1 - OFF FORM CONCRETE NATURAL LIGHT COLOUR
BK1 - BRICK VENEER - LIGHT BEIGE COLOUR
MC1 - ANODISED ALUMINIUM CLADDING - DARK COLOUR
LVR - ANODISED ALUMINIUM BLINDS - DARK COLOUR
STN - STONE CLADDING SAND STONE
GL1 - POWDERCOATED ALUM. FRAME & CLEAR GLAZING
GL2 - POWDERCOATED ALUM. FRAME & OBSCURE GLAZING
BL1 - BALUSTRADE: OBSCURE GLASS TO EAST/WEST; PALISADE TO NORTH

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LEGEND

A/C	Air Conditioning Unit	COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
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		GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

CLIENT
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MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
ELEVATION - EAST ELEVATION

SCALE	APPROVED	NORTH
1:200@A3	GM	
STATUS	DRAWN BY	
DA	DB	
PROJECT No	DRAWING No	REV
2004A	DA-0202	03

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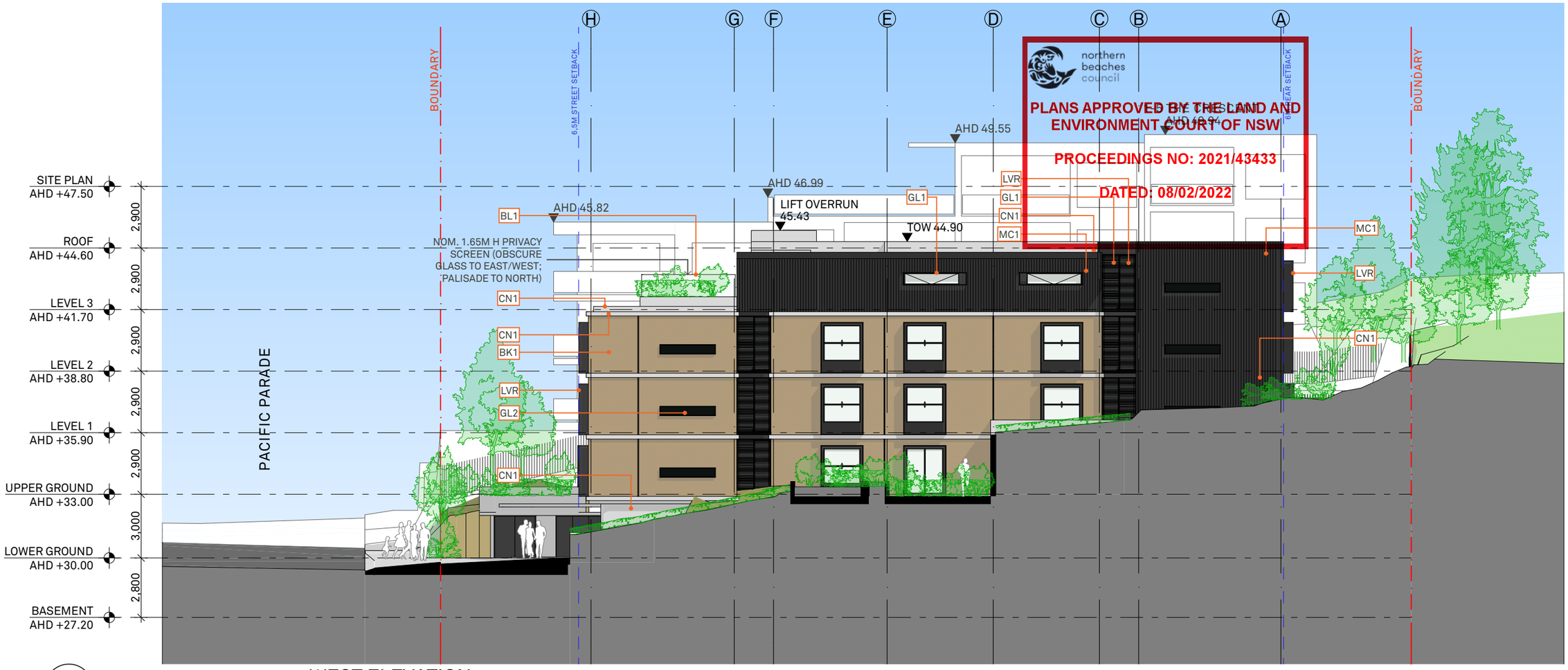

1 WEST ELEVATION
1:200

2 3D VIEW - WEST ELEVATION

SUMMARY OF CHANGES

01 DELETE LOFT BEDROOMS; REPLACE TYPE E ROOM WITH TYPE B; REMOVE 2x ROOMS IN FAVOUR OF ENLARGED COMMON ROOM AND COMMUNAL OPEN SPACE

02 REMOVE BASEMENT FLOOR, LOWER LEVEL COMMON ROOM (LWR GRD); INSTALL CAR STACKERS

03 REDUCE AREA OF COMMUNAL OPEN SPACE; PRIVACY SCREEN TO COMMUNAL OPEN SPACE

FINISHES LEGEND:

CN1 - OFF FORM CONCRETE NATURAL LIGHT COLOUR
BK1 - BRICK VENEER - LIGHT BEIGE COLOUR
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BL1 - BALUSTRADE: OBSCURE GLASS TO EAST/WEST; PALISADE TO NORTH

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LEGEND

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COL	Column	FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
COMM	Comms Room	GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

CLIENT
BL 2093 PTY LTD
PO BOX 1231
MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
ELEVATION - WEST ELEVATION

SCALE	APPROVED	NORTH
1:200@A3	GM	
STATUS	DRAWN BY	
DA	DB	
PROJECT No	DRAWING No	REV
2004A	DA-0203	03

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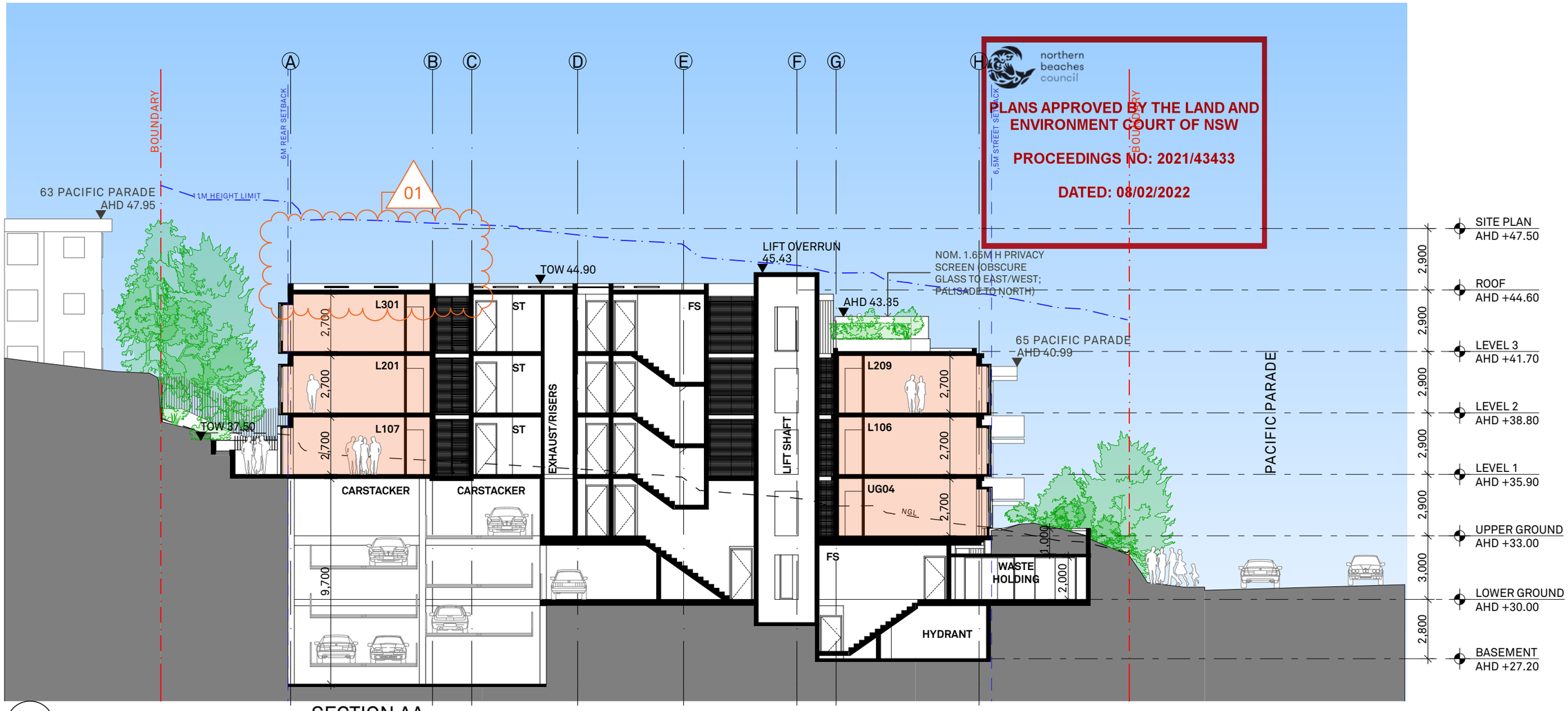

northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022

1 SECTION AA
1:200

2 SECTIONAL PERSPECTIVE

SUMMARY OF CHANGES

01 DELETE LOFT BEDROOMS; REPLACE TYPE E ROOM WITH TYPE B

02 REMOVE BASEMENT FLOOR, LOWER LEVEL COMMON ROOM (LWR GRD); INSTALL CAR STACKERS

03 REPLACE GARBAGE ROOM WITH BIN HOLDING AREA; INCREASE SOIL DEPTH ABOVE WASTE ROOMS.

04 RE-LABEL ROOMS FROM UG05 TO UG04

05 REDUCE AREA OF COMMUNAL OPEN SPACE; PRIVACY SCREEN TO COMMUNAL OPEN SPACE

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REVISION

Rev	Date	Description
01	25/11/2020	DA ISSUE 01
02	29/04/2021	DA ISSUE 02
03	11/06/2021	DA ISSUE 03

LEGEND

A/C	Air Conditioning Unit	COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
ACC	Accessible	CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
ADP	Adaptable	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
AHD	Aust. Height Datum	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
B	Basement	DP	Down Pipe	GM	Gas Meter	SW	Sewer
BAL	Balustrade	DW	Dishwasher	H	Hydraulic Services	ST	Storage
BALC	Balcony	F	Fridge	LY	Laundry	SD	Study
BED	Bedroom	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
BT	Bathroom	FFL	Finish floor level	MC	Motorcycle Parking	STW	Stormwater
COL	Column	FN	Fence	MSB	Main Switch Board	SFL	Structural floor level
COMM	Comms Room	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
		FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
		GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

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PO BOX 1231
MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
SECTIONS - SECTION AA

SCALE **1:200@A3**
APPROVED **GM**
NORTH
STATUS **DA**
DRAWN BY **DB**
PROJECT No **2004A**
DRAWING No **DA-300**
REV **03**

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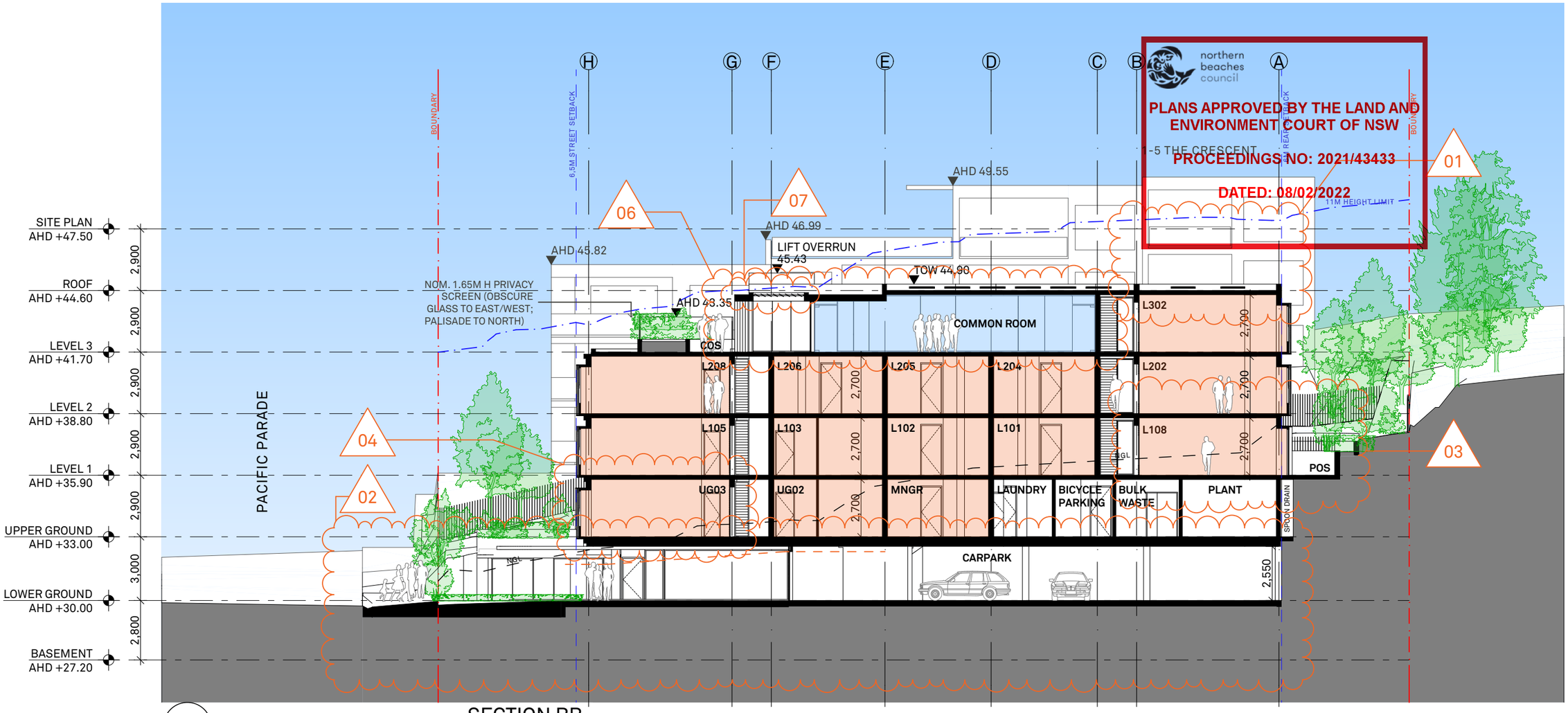

1 SECTION BB
1:200

2 SECTIONAL PERSPECTIVE

SUMMARY OF CHANGES

01 DELETE LOFT BEDROOMS; REPLACE TYPE E ROOM WITH TYPE B

02 REMOVE BASEMENT FLOOR, LOWER LEVEL COMMON ROOM (LWR GRD); INSTALL CAR STACKERS

03 REPLACE COMMON ROOM WITH 3x ROOMS WITH ADJACENT PRIVATE OPEN SPACE

04 RE-LABEL ROOMS FROM UG04 TO UG03

05 PRIVACY SCREEN TO COMMUNAL OPEN SPACE

06 INCREASE SIZE OF COMMON ROOM; REDUCE AREA OF COMMUNAL OPEN SPACE

07 ADD OPERABLE LOUVERS TO INCREASE SOLAR ACCESS IN COMMON ROOM

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REVISION

Rev	Date	Description
01	25/11/2020	DA ISSUE 01
02	29/04/2021	DA ISSUE 02
03	11/06/2021	DA ISSUE 03

LEGEND

A/C	Air Conditioning Unit	COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
ACC	Accessible	CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
ADP	Adaptable	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
AHD	Aust. Height Datum	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
B	Basement	DP	Down Pipe	GM	Gas Meter	SW	Sewer
BAL	Balustrade	DW	Dishwasher	H	Hydraulic Services	ST	Storage
BALC	Balcony	F	Fridge	LY	Laundry	SD	Study
BED	Bedroom	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
BT	Bathroom	FFL	Finish floor level	MC	Motorcycle Parking	STW	Stormwater
COL	Column	FN	Fence	MSB	Main Switch Board	SFL	Structural floor level
COMM	Comms Room	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
		FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
		GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

CLIENT
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PO BOX 1231
MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
SECTIONS - SECTION BB

SCALE	APPROVED	NORTH
1:200@A3	GM	
STATUS	DRAWN BY	
DA	DB	
PROJECT No	DRAWING No	REV
2004A	DA-301	03

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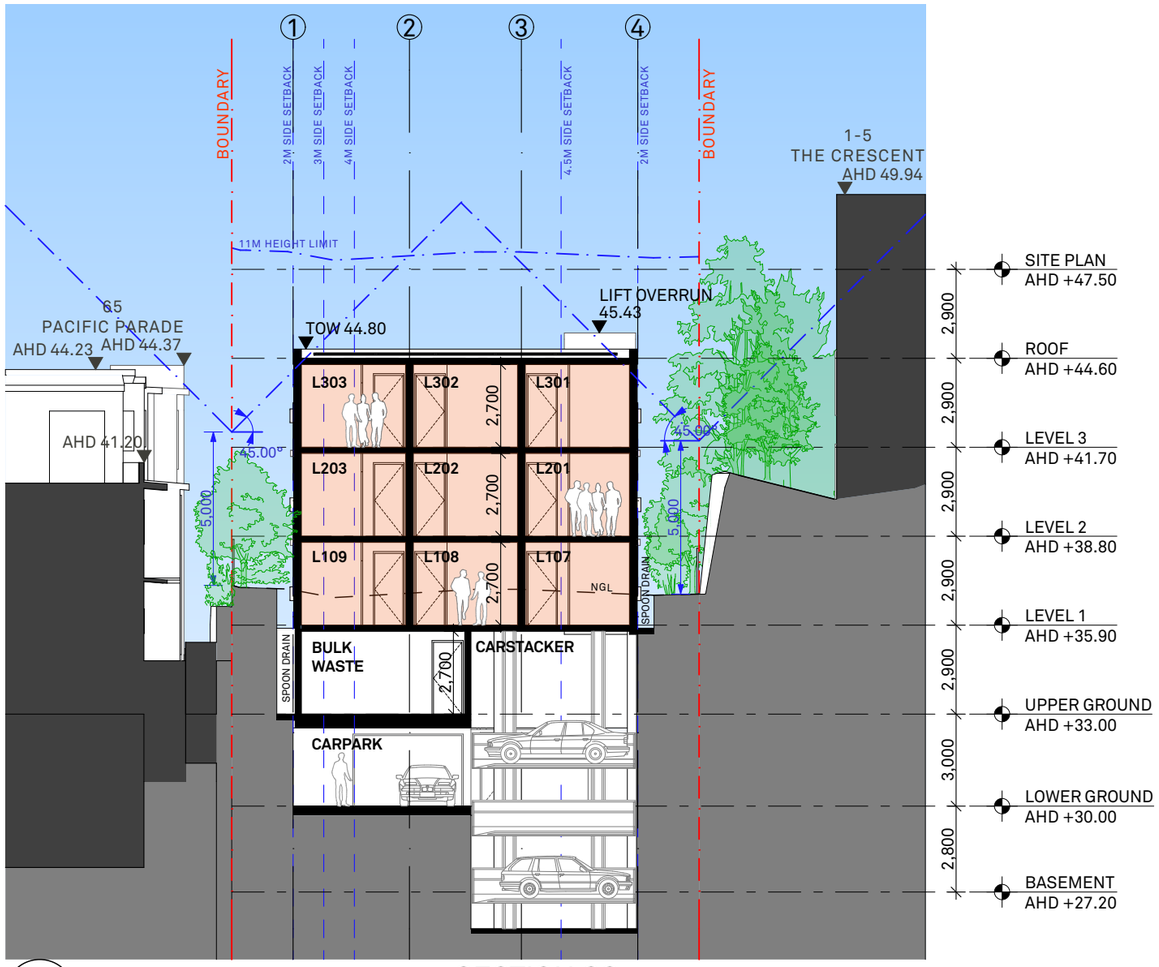
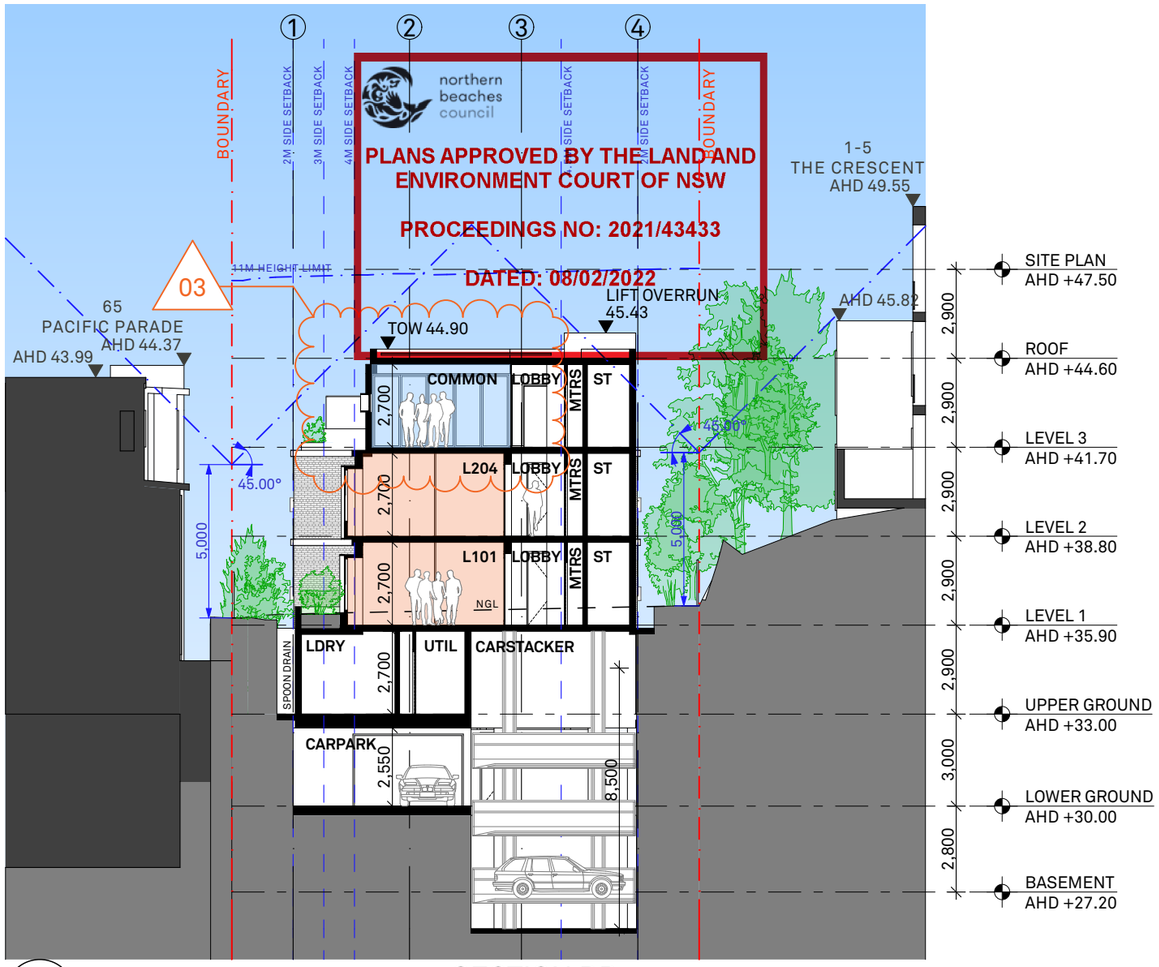
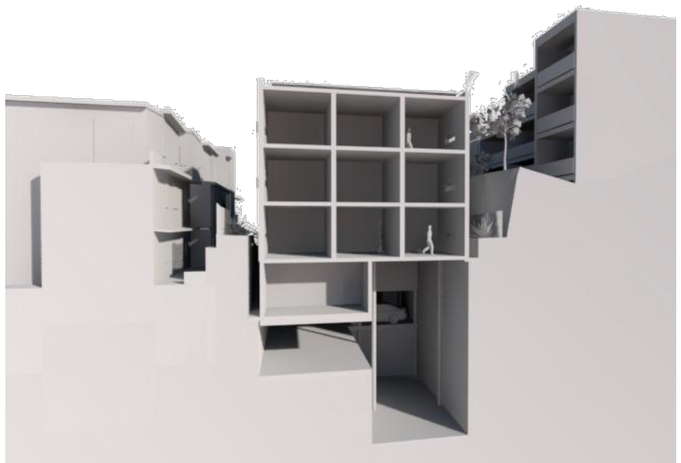


1 SECTION CC
1:200



2 SECTION DD
1:200



3 SECTIONAL PERSPECTIVE CC

4 SECTIONAL PERSPECTIVE DD

SUMMARY OF CHANGES

01 DELETE LOFT BEDROOMS; REPLACE TYPE E ROOM WITH TYPE B

02 REMOVE BASEMENT FLOOR, LOWER LEVEL COMMON ROOM (LWR GRD); INSTALL CAR STACKERS

03 INCREASE SIZE OF COMMON ROOM AND COMMUNAL OPEN SPACE

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REVISION

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03	11/06/2021	DA ISSUE 03

LEGEND

		COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
		CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
A/C	Air Conditioning Unit	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
ACC	Accessible	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
ADP	Adaptable	DP	Down Pipe	GM	Gas Meter	SW	Sewer
AHD	Aust. Height Datum	DW	Dishwasher	H	Hydraulic Services	ST	Storage
B	Basement	F	Fridge	LY	Laundry	SD	Study
BAL	Balustrade	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
BALC	Balcony	FFL	Finish floor level	MC	Motorcycle Parking	STW	Stormwater
BED	Bedroom	FN	Fence	MSB	Main Switch Board	SFL	Structural floor level
BT	Bathroom	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
COL	Column	FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
COMM	Comms Room	GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

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MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
SECTIONS - SECTIONS CC/DD

SCALE	APPROVED	NORTH
1:200@A3	GM	
STATUS	DRAWN BY	
DA	DB	
PROJECT No	DRAWING No	REV
2004A	DA-302	03

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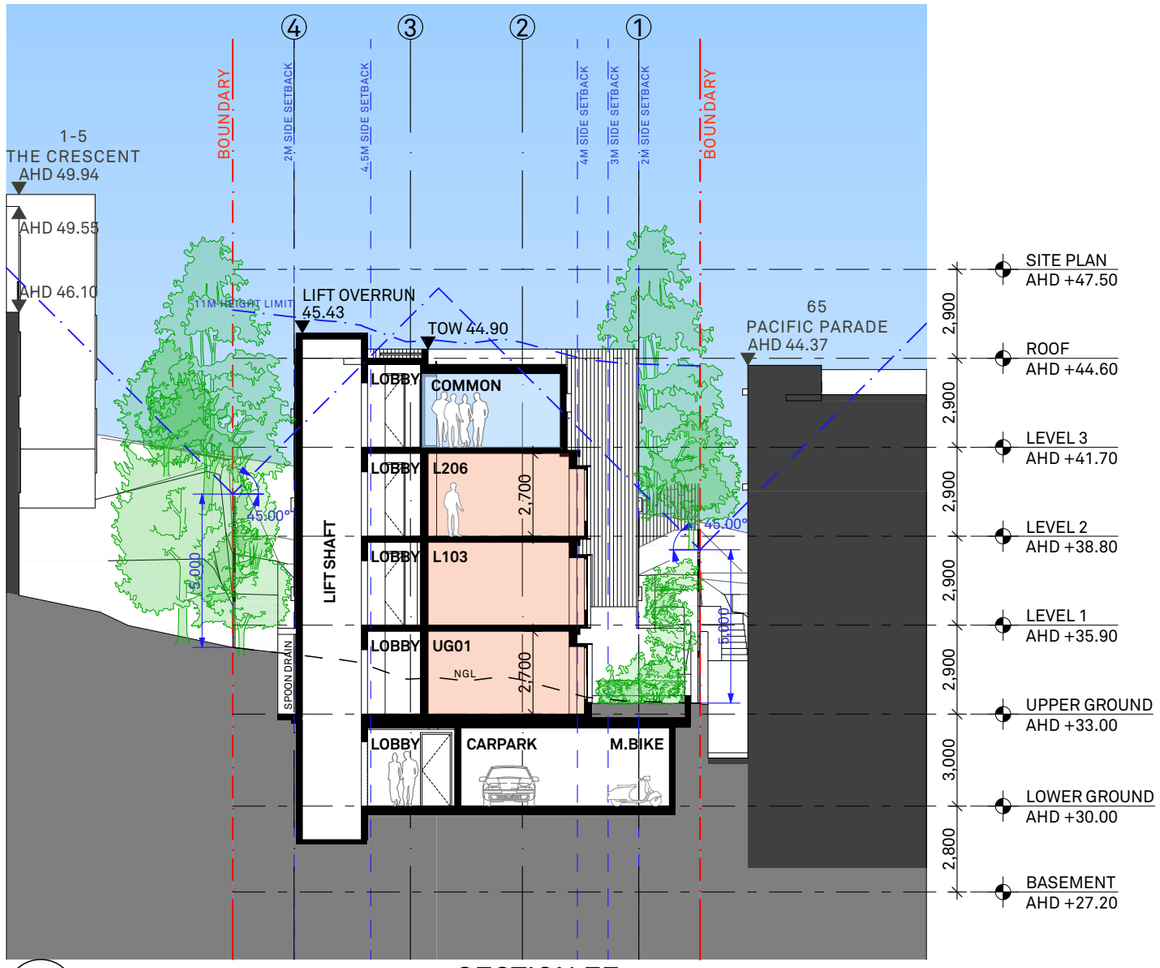
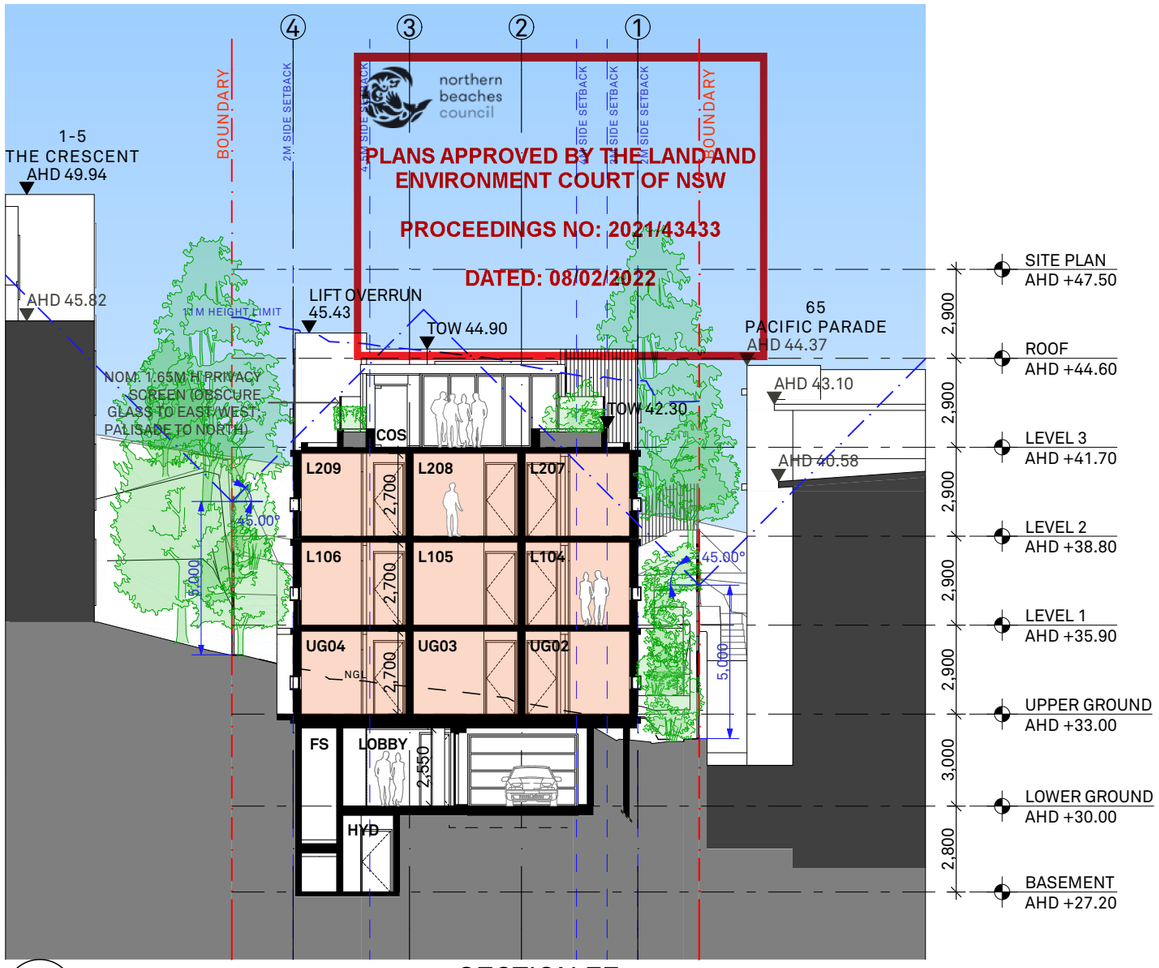


1 SECTION EE
1:200



2 SECTION FF
1:200

3 SECTIONAL PERSPECTIVE EE

4 SECTIONAL PERSPECTIVE FF

SUMMARY OF CHANGES

01 DELETE LOFT BEDROOMS; REPLACE TYPE E ROOM WITH TYPE B. INCREASE SIZE OF COMMON ROOM AND COMMUNAL OPEN SPACE

02 REMOVE BASEMENT FLOOR, LOWER LEVEL COMMON ROOM (LWR GRD); INSTALL CAR STACKERS

03 PRIVACY SCREEN TO COMMUNAL OPEN SPACE

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REVISION

Rev	Date	Description
01	25/11/2020	
02	29/04/2021	DA ISSUE 02
03	11/06/2021	DA ISSUE 03

LEGEND

		COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
		CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
A/C	Air Conditioning Unit	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
ACC	Accessible	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
ADP	Adaptable	DP	Down Pipe	GM	Gas Meter	SW	Sewer
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COL	Column	FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
COMM	Comms Room	GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

CLIENT
BL 2093 PTY LTD
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MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
SECTIONS - SECTIONS EE/FF

SCALE	APPROVED	NORTH
1:200@A3	GM	
STATUS	DRAWN BY	
DA	DB	
PROJECT No	DRAWING No	REV
2004A	DA-303	03

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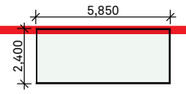
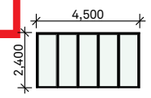
northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022

ELEVATION										
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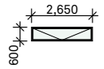
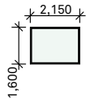
W x H SIZE	1,845×2,400	1,600×450	1,800×1,750	1,800×2,200	1,600×2,600	1,600×2,150	1,136×2,400	5,850×2,400	4,500×2,400	675×2,600
DESCRIPTION	CLEAR GLAZING IN POWDERCOATED METAL FRAME	OBSCURE GLAZING IN POWDERCOATED METAL FRAME	CLEAR GLAZING IN POWDERCOATED METAL FRAME	CLEAR GLAZING IN POWDERCOATED METAL FRAME	CLEAR GLAZING IN POWDERCOATED METAL FRAME	CLEAR GLAZING IN POWDERCOATED METAL FRAME	CLEAR GLAZING IN POWDERCOATED METAL FRAME	CLEAR GLAZING IN POWDERCOATED METAL FRAME	CLEAR GLAZING IN POWDERCOATED ALUMINIUM FRAME	CLEAR GLAZING IN POWDERCOATED METAL FRAME
REQUIREMENTS	SELF-CLOSING DOOR	TO COMPLY WITH SECTION C3.2 OF NCC/BCA								
NOTES	MAIN ENTRY DOOR						CURVED GLASS WINDOW			
QTY	1	12	22	4	8	1	1	1	1	3

ELEVATION		
ID	G2.15	G2.17
W x H SIZE	2,650×600	2,150×1,600
DESCRIPTION	OBSCURE GLAZING IN POWDERCOATED METAL FRAME	CLEAR GLAZING IN POWDERCOATED METAL FRAME
REQUIREMENTS	TO COMPLY WITH SECTION C3.2 OF NCC/BCA	
NOTES		
QTY	2	3

01

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REVISION

Rev	Date	Description
01	25/11/2020	DA ISSUE 01
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LEGEND

		COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
		CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
A/C	Air Conditioning Unit	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
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MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
WINDOW/GLAZED DOOR SCHEDULE

SCALE **@A3**
STATUS **DA**
PROJECT No **2004A**
APPROVED **GM**
DRAWN BY **DB**
DRAWING No **DA-0910**
REV **03**
NORTH

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BENSON McCORMACK ARCHITECTURE

1 STREET FRONTAGE IN PACIFIC PARADE

northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

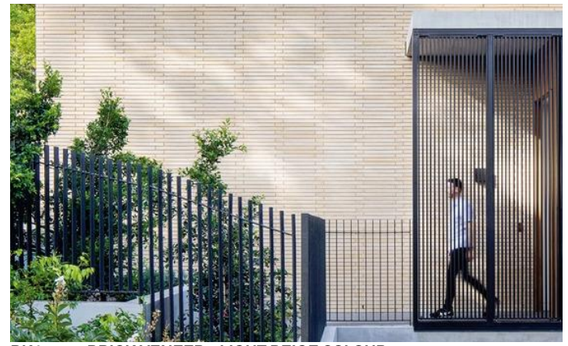
PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022

MC1 ALUMINIUM ROOF CLADDING - DARK COLOUR

LVR ALUMINIUM BLINDS - DARK COLOUR

CN1 OFF FORM CONCRETE - LIGHT COLOUR



BK1 BRICK VENEER - LIGHT BEIGE COLOUR

FINISHES LEGEND:

CN1 - OFF FORM CONCRETE NATURAL LIGHT COLOUR
BK1 - BRICK VENEER - LIGHT BEIGE COLOUR
MC1 - ANODISED ALUMINIUM CLADDING - DARK COLOUR
LVR - ANODISED ALUMINIUM BLINDS - DARK COLOUR
STN - STONE CLADDING SAND STONE
GL1 - POWDERCOATED ALUM. FRAME & CLEAR GLAZING
GL2 - POWDERCOATED ALUM. FRAME & OBSCURE GLAZING
BL1 - BALUSTRADE: OBSCURE GLASS TO EAST/WEST; PALISADE TO NORTH

01

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REVISION

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LEGEND

A/C	Air Conditioning Unit	COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
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ADP	Adaptable	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
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MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
EXTERNAL FINISHES SCHEDULE

SCALE **@A3**
STATUS **DA**
PROJECT No **2004A**
APPROVED **GM**
DRAWN BY **DB**
DRAWING No **DA-0960**
NORTH
REV **03**

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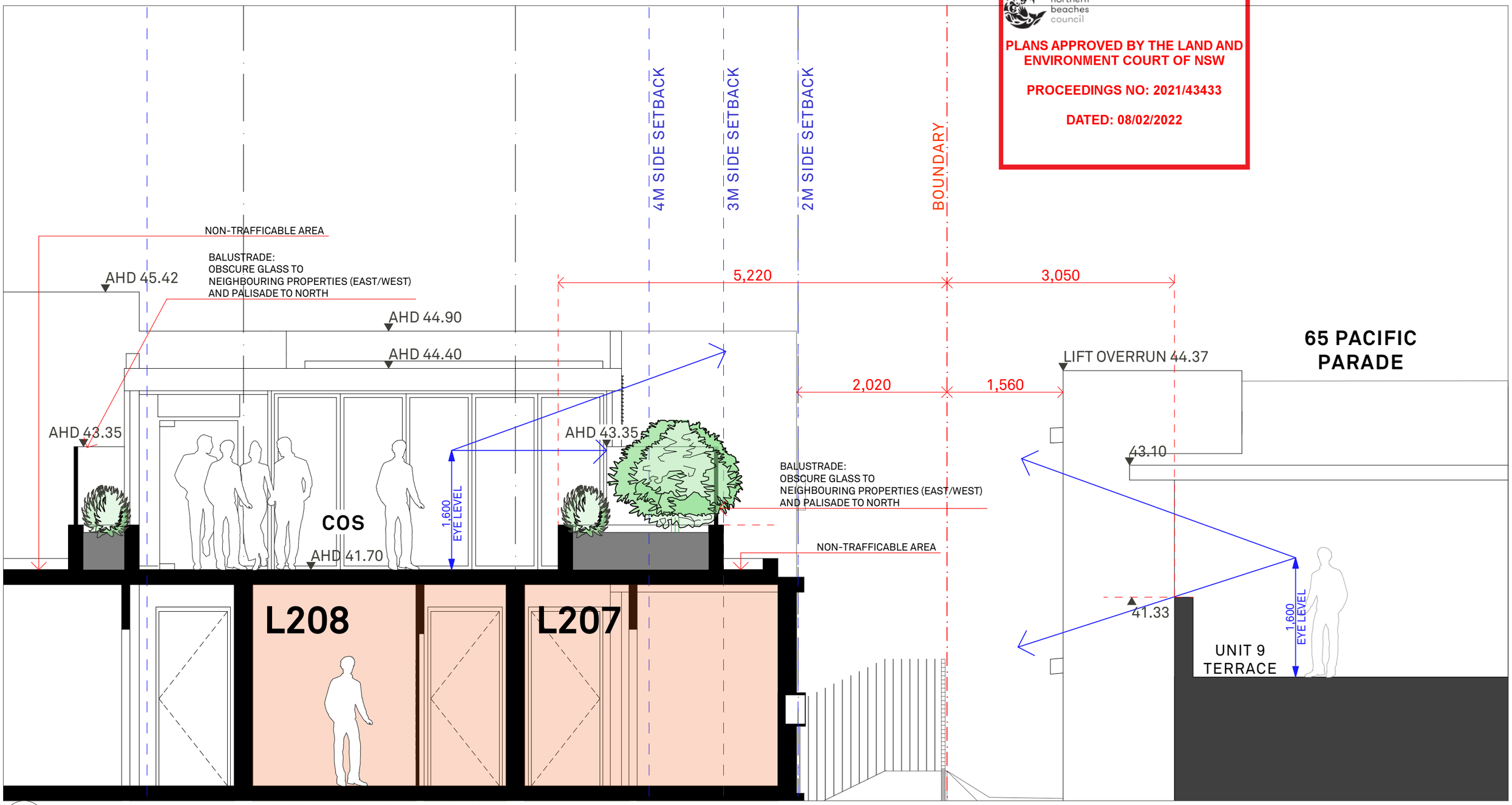
BENSON McCORMACK ARCHITECTURE



1 SECTION TROUGH LEVEL 03 COS

northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022

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REVISION

Rev	Date	Description
01	29/04/2021	DA ISSUE 02
02	11/06/2021	DA ISSUE 03

LEGEND

A/C	Air Conditioning Unit	COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
ACC	Accessible	CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
ADP	Adaptable	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
AHD	Aust. Height Datum	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
B	Basement	DP	Down Pipe	GM	Gas Meter	SW	Sewer
BAL	Balustrade	DW	Dishwasher	H	Hydraulic Services	ST	Storage
BALC	Balcony	F	Fridge	LY	Laundry	SD	Study
BED	Bedroom	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
BT	Bathroom	FFL	Finish floor level	MC	Motorcycle Parking	STW	Stormwater
COL	Column	FN	Fence	MSB	Main Switch Board	SFL	Structural floor level
COMM	Comms Room	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
		FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
		GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

CLIENT
BL 2093 PTY LTD
PO BOX 1231
MANLY NSW 2095

PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
LEVEL 03 COS STUDY
1/2

SCALE	APPROVED	NORTH
1:50@A3	GM	
STATUS	DRAWN BY	
DA	DB	
PROJECT No	DRAWING No	REV
2004A	DA-1041	02

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BENSON McCORMACK ARCHITECTURE

northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2021/43433

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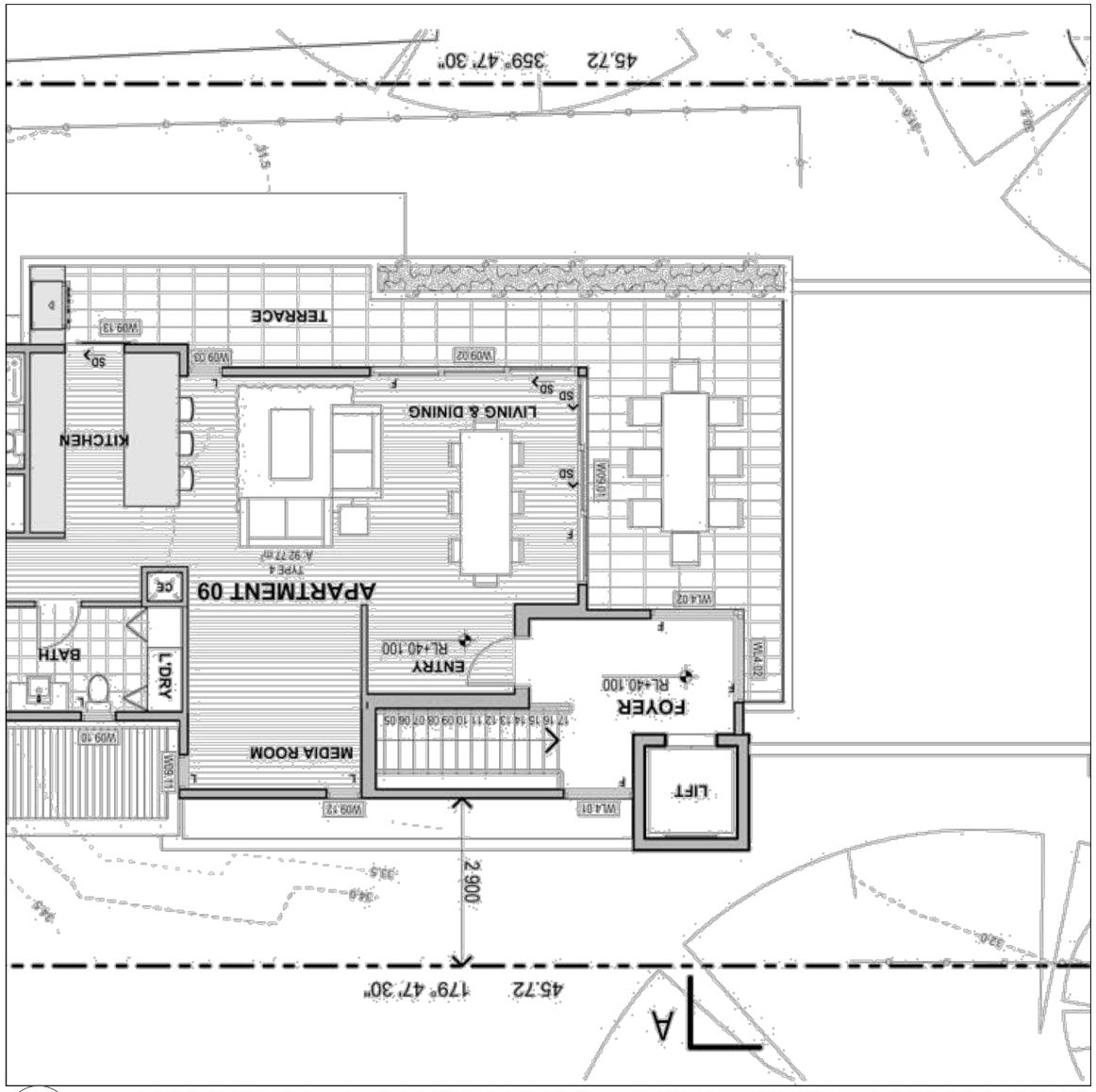
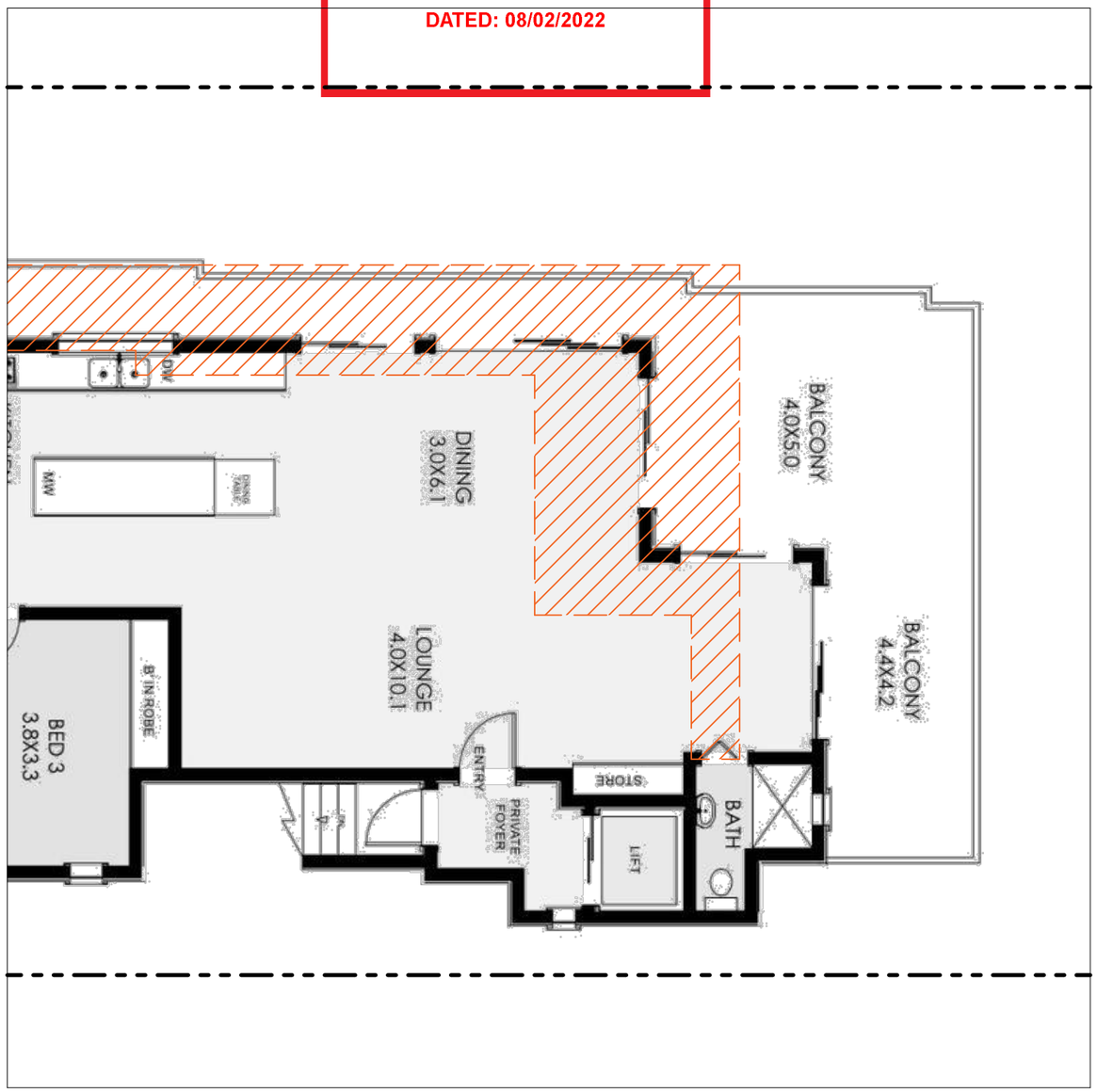


1 APPROVED DA - 65 PACIFIC PARADE - LEVEL 04 - UNIT 9 - 2 BEDROOM UNIT

DOCUMENT OBTAINED BY GIPA SUBMISSION



2 CURRENT STATE - 65 PACIFIC PARADE - LEVEL 04 - UNIT 9 - 3 BEDROOM UNIT

DOCUMENT OBTAINED ON REAL ESTATE WEBSITE

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PROJECT DETAILS
67 PP
67 Pacific Parade
DEE WHY NSW 2099

DRAWING TITLE
LEVEL 03 COS STUDY
2/2

SCALE	APPROVED	NORTH
1:100@A3	**GM**	
STATUS	DRAWN BY	
DA	**DB**	
PROJECT No	DRAWING No	REV
2004A	**DA-1042**	**02**

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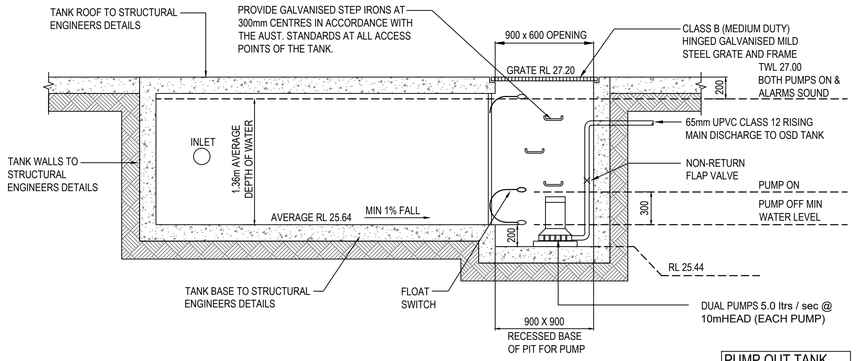
BENSON McCORMACK ARCHITECTURE

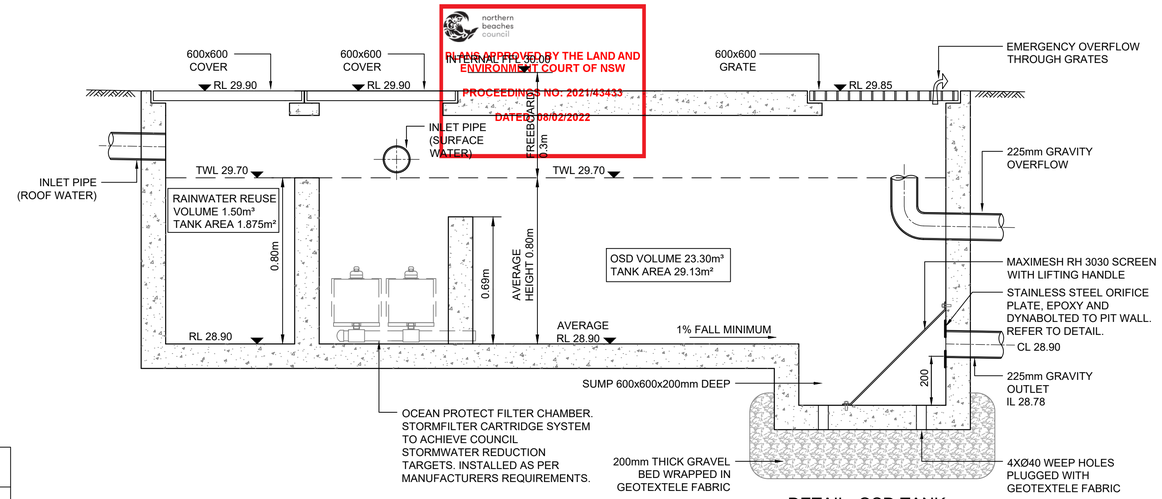
STORMWATER NOTES

1. CONFIRM LOCATION, SIZE, CONDITION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORK.
2. ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS, BCA AND RELEVANT AUSTRALIAN STANDARDS (IN PARTICULARLY AS 3500)
3. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND OTHER CONSULTANTS DOCUMENTS. ALL DISCREPANCIES SHALL BE REFERRED TO THE PROJECT MANAGER BEFORE PROCEEDING WITH THE WORK.
4. LOCATION OF ALL DOWNPIPES, PITS AND PIPEWORK IS DIGRAMMATIC ONLY FINAL LOCATION TO BE CO-ORDINATED DURING CONSTRUCTION CERTIFICATE DOCUMENTATION.
5. ALL MATERIALS USED IN THE WORK SHALL BE NEW AND OF THE BEST QUALITY AND TYPE AVAILABLE TO CONFORM WITH THE RELEVANT AUSTRALIAN STANDARDS AND BEAR THE REQUIRED STANDARDS MARK AND WATERMARK.
6. MAKE ALL APPLICATIONS TO LOCAL COUNCIL. PAY ALL FEES AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY THE AUTHORITIES.
7. PIPEWORK UP TO 225mm DIAMETER SHALL BE UPVC DRAINAGE WASTE GRADE WITH SOLVENT WELDED JOINTS.
8. PIPEWORK SHALL BE LAID AT 1:100 MINIMUM GRADE UNLESS NOTED OTHERWISE. PIPEWORK MAY BE LAID AT STEEPER GRADES AS REQUIRED TO MEET COVER REQUIREMENTS OR AS NOMINATED BY PIPEWORK INVERT LEVELS.
9. SUBSOIL PIPEWORK SHALL BE INSTALLED AS REQUIRED, INCLUDING BEHIND ALL RETAINING STRUCTURES, PLANTERS AND WHERE GROUND WATER IS ENCOUNTED. SHALL BE 90mm SLOTTED UPVC PIPE WRAPPED IN CLOTH SOCK AND SURROUNDED WITH 150mm THICKNESS OF 20mm DIAMETER BLUE METAL AND SURROUNDED IN GEOTEXTILE FABRIC.
10. ALL EXTERNAL LEVELS TO FALL AWAY FROM BUILDING. BUILDER TO ENSURE THRESHOLD REQUIREMENTS. OVERLAND FLOW PATHS TO BE MAINTAINED AROUND BUILDING TO PREVENT WATER INGRESS.
11. ALL LANDSCAPED AREAS LOCATED ABOVE CONCRETE SLABS TO BE EQUIPPED WITH DEDICATED OUTLET, WATERPROOFING MEMBRANE, DRAINAGE CELL AND GEOFABRIC.
12. SUBSOIL, UPLIFT PRESSURE, VERTICAL WALL DRAINAGE AND PIT CONSTRUCTION DETAILS TO BE CONFIRMED / CO-ORDINATED WITH STRUCTURAL AND GEOTECHNICAL ENGINEERS DURING CONSTRUCTION STAGE OF THE PROPOSED DEVELOPMENT.
13. ALL BALCONIES TO BE PROVIDED WITH SAFETY OVERFLOWS (FINAL LOCATION OF OVERFLOWS TO BE CONFIRMED BY ARCHITECT).



TYPICAL SECTION THROUGH BASEMENT PUMP OUT TANK
SCALE NTS

PUMP OUT TANK
AVERAGE HEIGHT = 1.36m
WIDTH = 2.2m
LENGTH = 2.2m
VOLUME PROVIDED = 6.57^3



northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
IN TERMS OF ORDER
PROCEEDINGS NO. 2021/43433
DATED 08/02/2022

DETAIL- OSD TANK
SCALE NTS

STANDARD PUMP OUT DESIGN NOTES

THE PUMP SYSTEM SHALL BE OPERATED IN THE FOLLOWING MANNER:-

1. THE PUMPS SHALL BE PROGRAMMED TO WORK ALTERNATELY TO ALLOW BOTH PUMPS TO HAVE AN EQUAL OPERATION LOAD AND PUMP LIFE
2. A FLOAT SHALL BE PROVIDED TO ENSURE THAT THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK. IN THIS REGARD THIS FLOAT WILL FUNCTION AS AN OFF SWITCH FOR THE PUMPS AT THE MINIMUM WATER LEVEL. THE SAME FLOAT SHALL BE SET TO TURN ONE OF THE PUMPS ON UPON WATER LEVEL IN THE TANK RISING TO APPROXIMATELY 300mm ABOVE THE MINIMUM WATER LEVEL. THE PUMP SHALL OPERATE UNTIL THE TANK IS DRAINED TO THE MINIMUM WATER LEVEL.
3. A SECOND FLOAT SHALL BE PROVIDED AT A HIGH LEVEL, WHICH IS APPROXIMATELY THE ROOF LEVEL OF THE BELOW GROUND TANK. THIS FLOAT SHALL START THE OTHER PUMP THAT IS NOT OPERATING AND ACTIVATE THE ALARM.
4. AN ALARM SYSTEM SHALL BE PROVIDED WITH A FLASHING STROBE LIGHT AND A PUMP FAILURE WARNING SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP IN CASE OF POWER FAILURE.
5. A CONFINED SPACE DANGER SIGN SHALL BE PROVIDED AT ALL ACCESS POINTS TO THE PUMP OUT STORAGE TANK.

PUMP-OUT TANK MAINTENANCE SCHEDULE

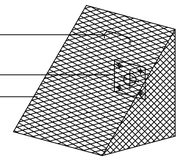
MAINTENANCE CONTRACT

NOTE: A 24 HOUR X 12 MONTHLY EMERGENCY AND MAINTENANCE CONTRACT SHALL BE OBTAINED FROM A COMPANY CAPABLE OF EXECUTING THE WORK AND SHALL BE KEPT IN FORCE BY THE PROPERTY OWNER(S) FOR THE LIFE OF THE BUILDING.

THE MAINTENANCE CONTRACT SHALL BE CARRIED OUT EVERY THREE (3) MONTHS AND SHALL INCLUDE THE FOLLOWING ACTIVITIES:

1. CLEAN OUT ALL PITS OF SILT AND DEBRIS.
2. CHECK AND CLEAN OUT, IF NECESSARY, ALL PIPELINES.
3. CHECK:
   - 3.1. PUMPS FOR WEAR
   - 3.2. PUMP OIL SEALS
   - 3.3. PUMP STRAINER AND CLEAN
4. CARRY OUT ROUTINE MAINTENANCE TO PUMPS AS RECOMMENDED BY THE MANUFACTURER.
5. CHECK OPERATIONAL SEQUENCE OF LEVEL SWITCHES, PUMPS AND CONTROL PANEL.
6. THE EMERGENCY CONTRACT SHALL PROVIDE FOR A 24 HOUR X 7 DAY PER WEEK SERVICE.

THE CONTRACTOR SHALL PROVIDE A NAME PLATE STATING NAME, WORKING HOURS, TELEPHONE NUMBER AND OUT OF HOURS NUMBER AND SUCH NAME PLATE SHALL BE FIXED TO THE FRONT OF THE CONTROL PANEL.



DETAIL: REMOVABLE TRASH SCREEN
SCALE NTS

LINETYPES

- STORMWATER DRAINAGE
- SUBSOIL DRAINAGE
- EXISTING SERVICE
- EXISTING SERVICE TO BE REDUNDANT

SYMBOLS

- RISER
- DROPPER
- CONTINUATION SYMBOL (CONTINUATION OF SERVICE NOT SHOWN)
- CAPPED OFF SERVICE
- DIRECTION OF FLOW IN PIPE
- DIRECTION OF FLOW / SERVICE / SIZE
- RWO — RAINWATER OUTLET
- BRWO — BALCONY RAINWATER OUTLET
- PRWO — PLANTER RAINWATER OUTLET
- SRWO — SPOON DRAIN RAINWATER OUTLET
- STORMWATER PIT (WITH COVER)
- STORMWATER PIT (WITH GRATE)
- KERB INLET PIT
- SAFETY OVERFLOW
- SPREADER

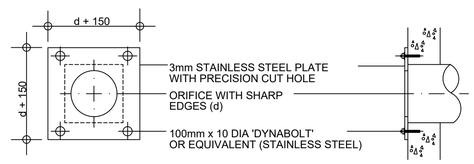
OSD & RAINWATER TANK CALCULATIONS

WARRINGAH COUNCIL OSD TECHNICAL SPECIFICATION
APPENDIX 6- TABLE 2B (>60% IMP):

SITE AREA:	695.6m²
OSD SSR:	23.3m²
PSD:	21 L/sec
RAINWATER TANK VOLUME (BASIX):	1.5m³

STORMWATER PIT SIZES

MINIMUM INTERNAL MEASUREMENTS:				
DEPTH TO BASE OF CHAMBER	RECTANGULAR		CIRCULAR	LADDER / STEP IRON
	WIDTH	LENGTH		
SMALLER THAN 600	450	450	600	NO
601 TO 900	600	600	900	NO
901 TO 1200	600	900	1050	NO
GREATER THAN 1200	900	900	1050	YES



CALCULATION OF ORIFICE SIZE BASED ON WARRINGAH COUNCIL OSD TECHNICAL SPECIFICATION TABLE 3: ORIFICE SIZE 106mm.

DETAIL: ORIFICE PLATE
NTS

REV	DESCRIPTION	DATE
B	ISSUED FOR DA	17.11.2020
A	ISSUED FOR DA	12.11.2020

CLIENT: BL 2093 PTY LTD

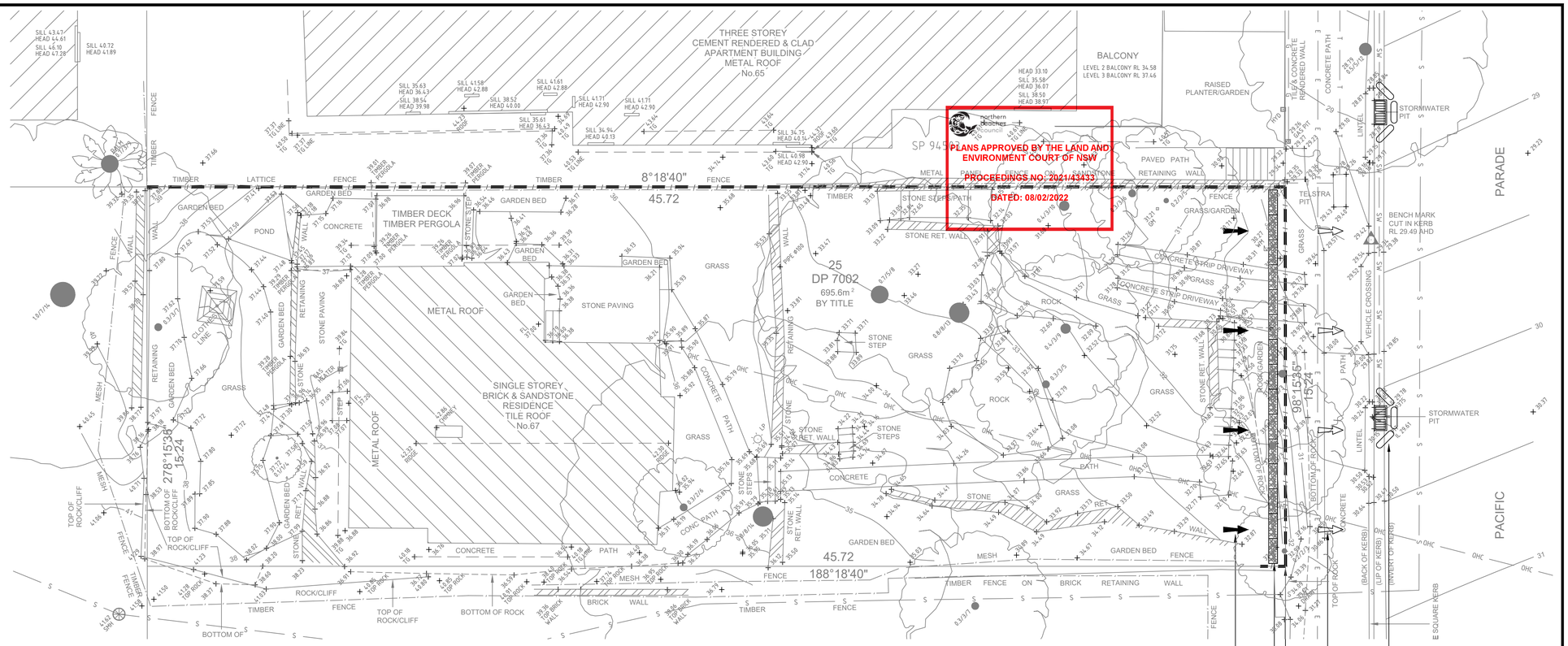
ARCHITECT: BENSON McCORMACK ARCHITECTURE

HYDRAULIC CONSULTANT: itmdesign pty ltd
consulting hydraulic engineers
unit 6/3 apollo st, warriewood nsw 2102
po box 1438 mona vale nsw 1660
tel (02) 9997 1566 fax (02) 9997 3266
email: markus@itmdesign.com.au

PROJECT: 67 PACIFIC PDE DEE WHY NSW

DRAWING TITLE: STORMWATER SERVICES LEGEND, DETAILS & CALCULATIONS

DISCIPLINE	ENGINEER	SCALE @ A1
HYD	PC	NTS@A1 NTS@A3
PROJECT No.	DRAWING No.	REVISION
20-110	H-DA-00	B



EROSION SEDIMENT CONTROL PLAN

SCALE 1:100

STORMWATER OVERLAND FLOW WITH SEDIMENTS

STRAW BALE BARRIER. FINAL LOCATION TBC ON SITE WITH BUILDER. REFER TO DETAIL.

SILT FENCE. FINAL LOCATION TBC ON SITE WITH BUILDER. REFER TO DETAIL.

STORMWATER OVERLAND FLOW 'WITHOUT' SEDIMENTS

BLUE METAL GROYNE (SAUSAGE) AROUND EXISTING KERB INLET PITS. REFER TO DETAIL.

EROSION & SEDIMENT CONTROL NOTES

MINIMUM REQUIREMENTS

GENERAL
PROVIDE ON SITE CONTROLS THROUGHOUT THE ENTIRE WORKS TO ENSURE MINIMUM EROSION AND SEDIMENT LOSS.

ENSURE LEAST DISTURBANCE TO SITE.

AS EACH AREA IS COMPLETED, THAT AREA IS TO BE IMMEDIATELY/PROGRESSIVELY SEEDED AND FERTILISED. SILT FENCES, STRAW BALES OR OTHER CONTROLS NEED TO BE PROVIDED UNTIL THE SITE IS STABLE. SHOULD THIS APPROACH NOT BE PRACTICAL THE PROGRESSIVE REVEGETATION OF INDIVIDUAL AREAS WILL BE REQUIRED.

WHERE THERE IS GRADE ON OTHER AREAS OF THE SITE THAT MAY LEAD TO EROSION, FURTHER APPROPRIATE TREATMENT IS TO BE LOCATED TO CONTROL EROSION i.e. STRAW BALES

THE PROVISION AND MAINTENANCE OF (SEDIMENT) SILT FENCES WILL BE NECESSARY DURING THE CONSTRUCTION PHASE. WHEN INSTRUCTED BY THE COUNCIL PROGRESSIVELY REMOVE INDIVIDUAL SECTIONS OF SILT FENCES FOR CLEANING. CLEANING OF FENCES TO BE CARRIED OUT DURING PERIODS OF DRY WEATHER.

FILL AREAS
RUN-OFF AND SEDIMENT LOSS FROM THE AREAS OF FILL MUST BE CONTROLLED DURING AND AFTER CONSTRUCTION, BEFORE REVEGETATION TAKES PLACE USING SILT FENCES AND OR STRAW BALES AS INSTRUCTED BY THE PROJECT MANAGER/COUNCIL TO DIRECT WATER FROM THE DISTURBED AREA. OTHER MEASURES SHALL BE CARRIED OUT AS DIRECTED BY THE COUNCIL AND/OR AS SHOWN ON THE PLANS.

STOCK PILES
THE STOCK PILE LOCATION SHOWN ON THE PLAN IS PRELIMINARY. SHOULD THE BUILDER WISH TO RELOCATE THE STOCKPILE, HE SHALL OBTAIN APPROVAL FROM COUNCIL PRIOR TO COMMENCEMENT OF WORKS. THE BUILDER SHALL PRODUCE DRAWINGS INDICATING THE LOCATION OF STOCK PILES.

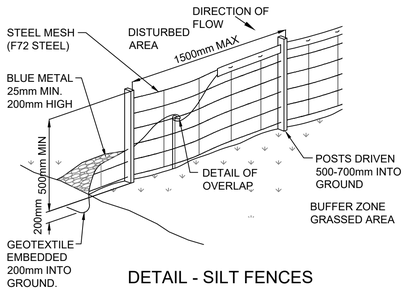
STOCK PILE SITES SHALL BE LOCATED AWAY FROM EXISTING OR PROPOSED DRAINAGE LINES OR AREAS LIKELY TO BE DISTURBED DURING CONSTRUCTION. STOCK PILE SITES SHALL NOT BE LOCATED WITHIN THE DRIP ZONE OF TREES.

STOCK PILE SITES MUST BE PROTECTED FROM EROSION AND SEDIMENT LOSS BY THE INSTALLATION OF SILT FENCES/STRAW BALES OR OTHER CONTROLS APPROVED BY COUNCIL.

WIND EROSION
TO MINIMISE WIND EROSION DURING CONSTRUCTION, THE GROUND SURFACE SHOULD BE KEPT DAMP (NOT WET). THE SURFACE SHOULD BE LEFT IN A ROUGH CLODDY CONDITION TO INCREASE ROUGHNESS AND SLOW SURFACE WIND SPEED.

LOCATION
LOCATION OF SEDIMENT CONTROL METHODS ie. SILT FENCES ARE SHOWN DIAGRAMMATICALLY ONLY ON DRAWING. FINAL LOCATION, EXTENT AND TYPE OF SEDIMENT CONTROL METHODS SHALL BE TO THE SATISFACTION OF COUNCIL.

THE CONTRACTOR, UNDER SECTION 16 OF THE CLEAN WATERS ACT, IS LIABLE FOR THE DEPOSITION OF ANY CONTAMINANTS DEPOSITED ON ROADWAYS AFTER LEAVING THE CONSTRUCTION SITE.



DETAIL - SILT FENCES

SILT FENCES

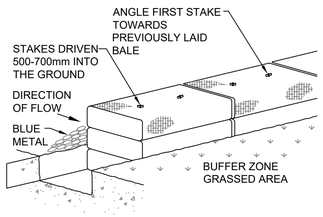
DESCRIPTION
SILT FENCES ARE TEMPORARY BARRIERS MADE FROM A COMBINATION OF FILTER CLOTH AND BLUE METAL

USAGE
SILT FENCES FILTER RUN-OFF LEAVING THE SITE TRAPPING THE SEDIMENT AND ALLOWING CLEAN FILTERED WATER TO PASS. SILT FENCES ARE TO BE PLACED ON THE CONTOUR OR SLIGHTLY CONVEX TO THE CONTOUR. IF ON THE CONTOUR, EACH END OF THE FENCE SHOULD BE TURNED UP TO CREATE A 'STILLING POND' UP SLOPE OF THE FENCE. WHERE POSSIBLE, A SILT FENCE SYSTEM SHOULD BE NO LONGER THAN ABOUT 20 METRES. THEY SHOULD NOT INTERCEPT LARGE CONCENTRATED OR CHANNELISED FLOWS.

INSTALLATION
THE AREA BELOW A SILT FENCE MUST BE UNDISTURBED ON STABLISED GROUND.

MAINTENANCE
SILT FENCES REQUIRE REGULAR MAINTENANCE. TRAPPED SEDIMENTS SHOULD BE REMOVED, PICKETS STRAIGHTENED, FILTER CLOTH RESECURED AND TIGHTENED AND BLUE METAL REPLACED WHEN HEAVILY CONTAMINATED WITH SILT.

NOTE
FILTER FABRIC SHALL BE EQUIVALENT TO 'GEOLAB' AND BE CAPABLE OF INTERCEPTING SILT PARTICLES DOWN TO 2 MICRON IN SIZE.



DETAIL - STRAW BALE BARRIERS

STRAW BALE BARRIERS

DESCRIPTION
A TEMPORARY BARRIER OF STRAW BALES PLACED AROUND THE PERIMETER OF A DISTURBED AREA.

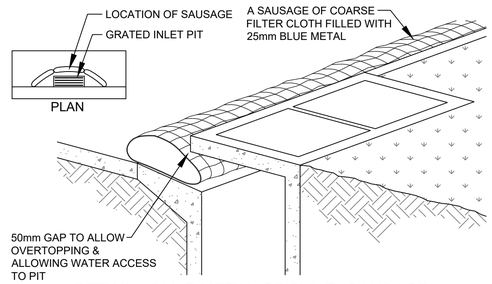
USAGE
STRAW BALE BARRIERS ARE USED TO DESILT CONTAMINATED WATER

INSTALLATION
STRAW BALES ARE ONLY EFFECTIVE ON SITES OF LESS THAN HALF A HECTARE. THE BALES SHOULD BE PLACED LENGTHWISE IN 100mm DEEP TRENCHES WITH THEIR BINDING ROPE HORIZONTAL TO THE GROUND.

THE BALES SHOULD BE CONNECTED AND ANCHORED TO THE GROUND BY DRIVING TWO STAR PICKETS OR POSTS THROUGH EACH BALE. THE FIRST STAKE MUST BE DRIVEN TOWARDS THE ADJOINING BALE AT A 45° ANGLE TO FORCE THE BALES TOGETHER.

MAINTENANCE
AFTER RAINFALL STRAW BALE BARRIERS SHOULD BE INSPECTED AND SEDIMENT REMOVED. DAMAGED BALES SHOULD BE REPAIRED OR REPLACED BALES HAVE A LIFE EXPECTANCY OF THREE TO SIX MONTHS.

NOTE
THE LOCATION OF STRAW BALES ON THE ABOVE SITE PLAN IS DIAGRAMMATIC ONLY. THE REQUIREMENT FOR THE USAGE OF STRAW BALES IS TO BE AS A SUPPLEMENTARY MEASURE TO ASSIST THE SILT FENCES. FINAL LOCATIONS AND EXTENT OF STRAW BALES TO BE DETERMINED BY THE COUNCIL.



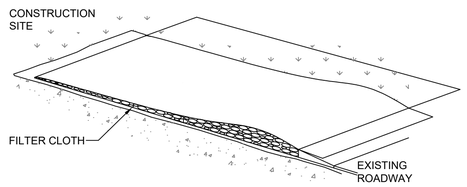
DETAIL - BLUE METAL GROYNE (SAUSAGE)

BLUE METAL GROYNE (SAUSAGE)

DESCRIPTION
THE GROYNE COMPRISES A SAUSAGE OF SHADE CLOTH OR OTHER PREVIOUS FABRIC, SOME 200mm DIAMETER, FILLED WITH 25mm BLUE METAL AND CLOSED BOTH ENDS.

INSTALLATION
THE SAUSAGE IS LAID ON THE GROUND ON THE CONTOUR SIMILAR TO A SILT FENCE. GENERALLY THE SAUSAGE SHOULD BE LAID TWO HIGH TO OBTAIN ENOUGH FILTER AREA.

LOCATION
THE GROYNES SHOULD BE LOCATED ACROSS THE ENTRY DRIVEWAY TO THE SITE AND AROUND THE NEAREST DOWNSTREAM KERB ENTRY PITS.



DETAIL - SHAKE DOWN AREA/ACCESS STABILISATION

SHAKE DOWN AREAS/ACCESS STABILISATION

DESCRIPTION
STABILISED ACCESS SHALL BE A BED OF AGGREGATE ON FILTER CLOTH. GRADE THE ENTRANCE SO THAT IT IS AT LEAST 15 METRES LONG WITH A MINIMUM WIDTH OF 3 METRES FOR A ONE WAY ENTRANCE AND 6 METRES FOR A TWO WAY ENTRANCE. PLACE FILTER CLOTH OVER THE ENTIRE AREA AND COVER IT WITH 150mm MINIMUM THICKNESS OF 50mm AGGREGATE RIVER GRAVEL OR A RECYCLED OR RECLAIMED CONCRETE EQUIVALENT.

USAGE
SUCH STRUCTURES SHALL BE USED AT ALL POINTS WHERE CONSTRUCTION VEHICLES ENTER OR LEAVE THE SITE AND EXISTING ROADWAYS.

TREATMENT/MAINTENANCE

SURFACE WATER FLOWING TO THE ENTRANCE MUST BE PIPED UNDER THE ENTRANCE, OR A BERM CONSTRUCTED TO DIRECT SURFACE FLOW AWAY FROM THE ROAD.
ALL DEPOSITS ARE TO BE REGULARLY CLEARED FROM SITE ACCESS.
THE DRAWBAR, TAILGATE ETC OF ANY VEHICLE INVOLVED IN THE TRANSPORT OF GRAVEL ETC TO A CONSTRUCTION SITE MUST BE MANUALLY CLEANED OF MATERIAL BEFORE THE VEHICLE LEAVES THE SITE.
SHOULD THE MATERIAL BE DEPOSITED ON THE ROADWAY ETC, SUCH MATERIAL SHALL BE SWEPT AND REMOVED FROM THE ROADWAY.

REV	DESCRIPTION	DATE
B	ISSUED FOR DA	17.11.2020
A	ISSUED FOR DA	12.11.2020

CLIENT
BL 2093 PTY LTD

ARCHITECT
BENSON McCORMACK ARCHITECTURE

HYDRAULIC CONSULTANT
itm design pty ltd
consulting hydraulic engineers
unit 6/3 apollo st, warriewood nsw 2102
po box 1438 mona vale nsw 1660
tel (02) 9997 1566 fax (02) 9997 3266
email: markus@itmdesign.com.au

PROJECT
67 PACIFIC PDE
DEE WHY NSW

DRAWING TITLE
STORMWATER SERVICES
EROSION SEDIMENT CONTROL PLAN

DISCIPLINE	ENGINEER	SCALE @ A1
HYD	PC	1:100@A1 1:200@A3
PROJECT No.	DRAWING No.	REVISION
20-110	H-DA-01	B

STORMWATER DA DRAWING ONLY

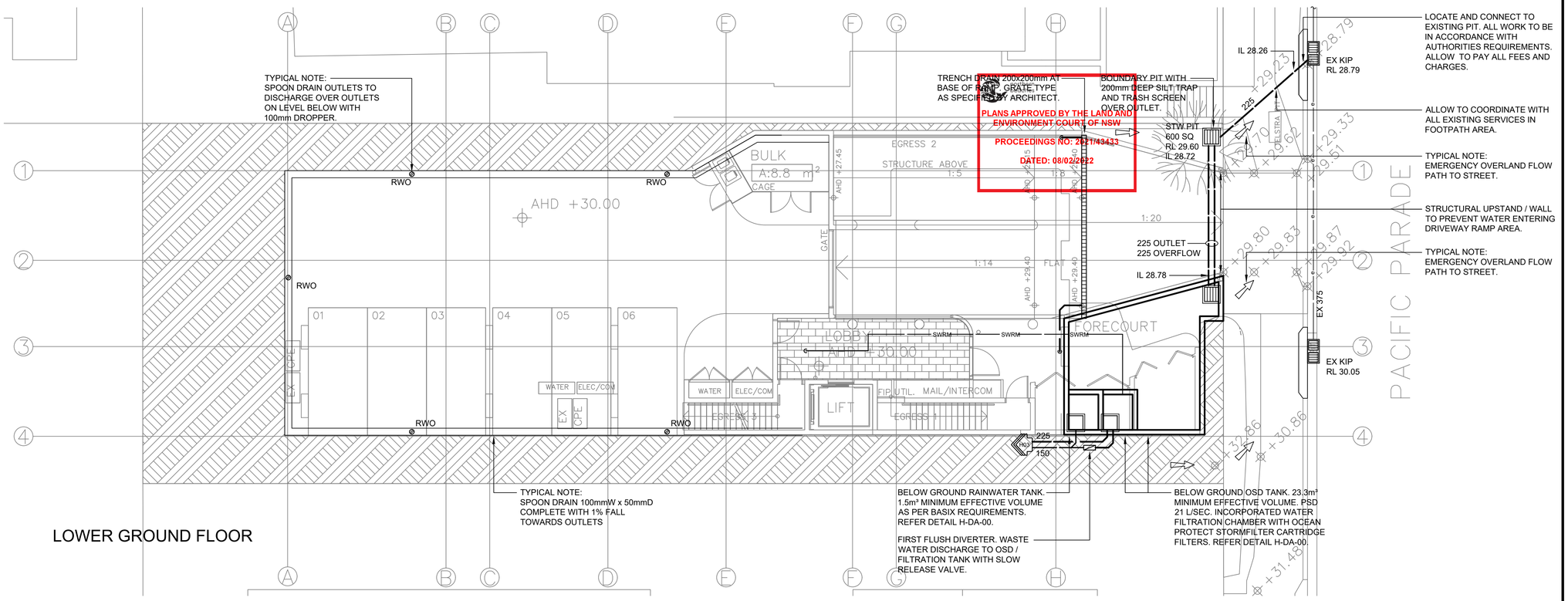
- NOT FOR CONSTRUCTION
- FINAL LOCATION OF ALL DOWNPIPES, PITS, RAINWATER OUTLETS AND SUBSOIL PIPES TO BE CONFIRMED

LANDSCAPING DRAINAGE

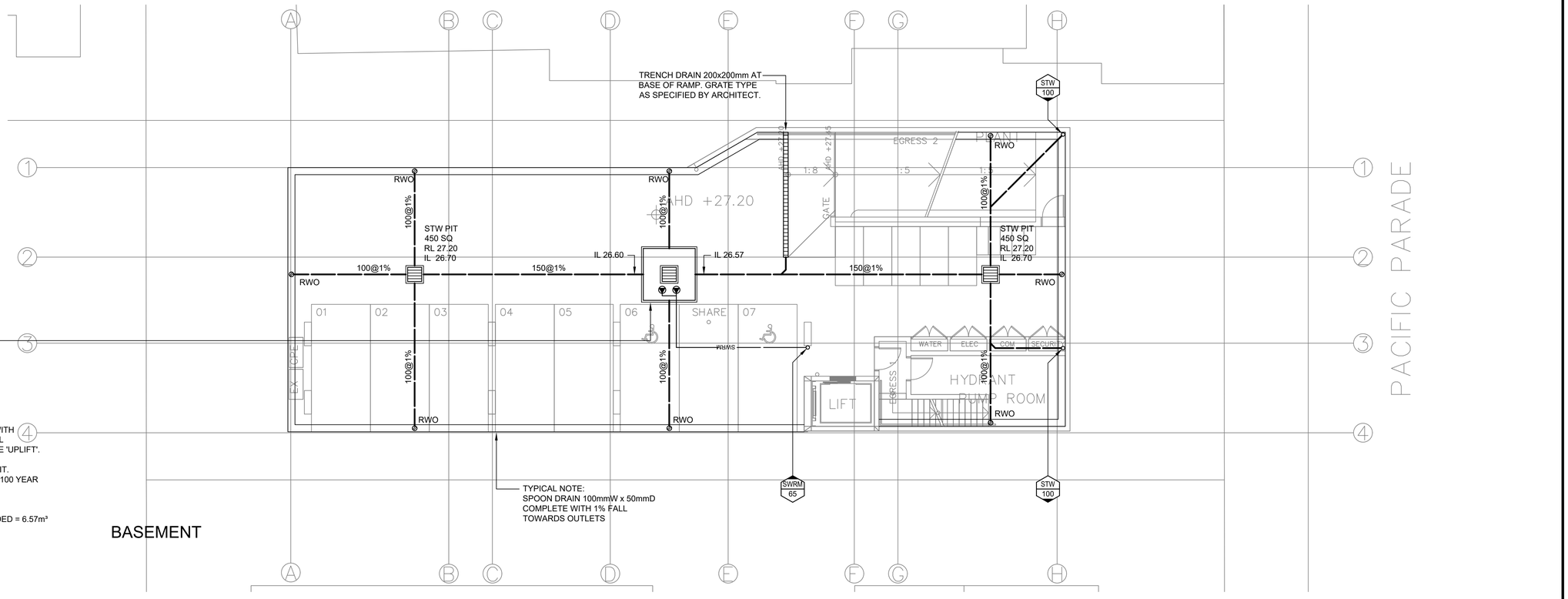
- ALL LANDSCAPED AREAS LOCATED ABOVE CONCRETE SLABS TO BE EQUIPPED WITH WATERPROOFING MEMBRANE, DRAINAGE CELL AND GEOFABRIC

GEOTECHNICAL & STRUCTURAL ADVICE

- CARPARK, SUBSOIL, UPLIFT PRESSURE, VERTICAL WALL DRAINAGE AND PIT CONSTRUCTION DETAILS TO BE CONFIRMED / CO-ORDINATED WITH STRUCTURAL AND GEOTECHNICAL ENGINEERS DURING CONSTRUCTION STAGE OF THE PROPOSED DEVELOPMENT



LOWER GROUND FLOOR



STORMWATER PUMP OUT PIT COMPLETE WITH:
- DUAL PUMPS- GRUNDFOS OR APPROVED EQUAL
- CLASS 'B' INLET / ACCESS GRATE (600x900mm)
- CONTROL PANEL
- AUDIBLE HIGH LEVEL ALARM
- FLOAT SWITCHES (ALTERNATE PUMP RUN)
- PUMP DUTY: 5.0 ltrs / sec @ 10mHEAD (EACH PUMP) 10.0 ltrs / sec MAX FLOW.
- STORMWATER RISING MAIN DISCHARGE TO OSD TANK.

PIT MATERIAL / CONSTRUCTION TO BE CO - ORDINATED WITH STRUCTURAL & GEOTECHNICAL ENGINEERS. PAY SPECIAL ATTENTION TO GROUNDWATER PRESSURE AND POSSIBLE 'UPLIFT'.

PIT SIZE:
- 63mSQ 'OPEN TO THE SKY' ARE DISCHARGING TO THE PIT.
- BELOW GROUND STORAGE REQUIRED = 5.85m³ (2 HOUR 100 YEAR ARI STORM EVENT)
- ASSUMED SEEPAGE INFLOW RATE = 0.1 ltrs / sec (TO BE VERIFIED DURING CONSTRCTION)
- MINIMUM EFFECTIVE BELOW GROUND STORAGE PROVIDED = 6.57m³

BASEMENT

REV	DESCRIPTION	DATE
B	ISSUED FOR DA	17.11.2020
A	ISSUED FOR DA	12.11.2020

CLIENT: BL 2093 PTY LTD

ARCHITECT: BENSON McCORMACK ARCHITECTURE

HYDRAULIC CONSULTANT: itm design pty ltd
consulting hydraulic engineers
unit 6/3 apollo st, warriewood nsw 2102
po box 1438 mona vale nsw 1660
tel (02) 9997 1566 fax (02) 9997 3266
email: markus@itmdesign.com.au

PROJECT: 67 PACIFIC PDE DEE WHY NSW

DRAWING TITLE: STORMWATER SERVICES BASEMENT & LOWER GROUND FLOOR PLAN

DISCIPLINE	ENGINEER	SCALE @ A1
HYD	PC	1:100@A1 1:200@A3
PROJECT No.	DRAWING No.	REVISION
20-110	H-DA-02	B

STORMWATER DA DRAWING ONLY

- NOT FOR CONSTRUCTION
- FINAL LOCATION OF ALL DOWNPIPES, PITS, RAINWATER OUTLETS AND SUBSOIL PIPES TO BE CONFIRMED

LANDSCAPING DRAINAGE

- ALL LANDSCAPED AREAS LOCATED ABOVE CONCRETE SLABS TO BE EQUIPPED WITH WATERPROOFING MEMBRANE, DRAINAGE CELL AND GEOFABRIC

GEOTECHNICAL & STRUCTURAL ADVICE

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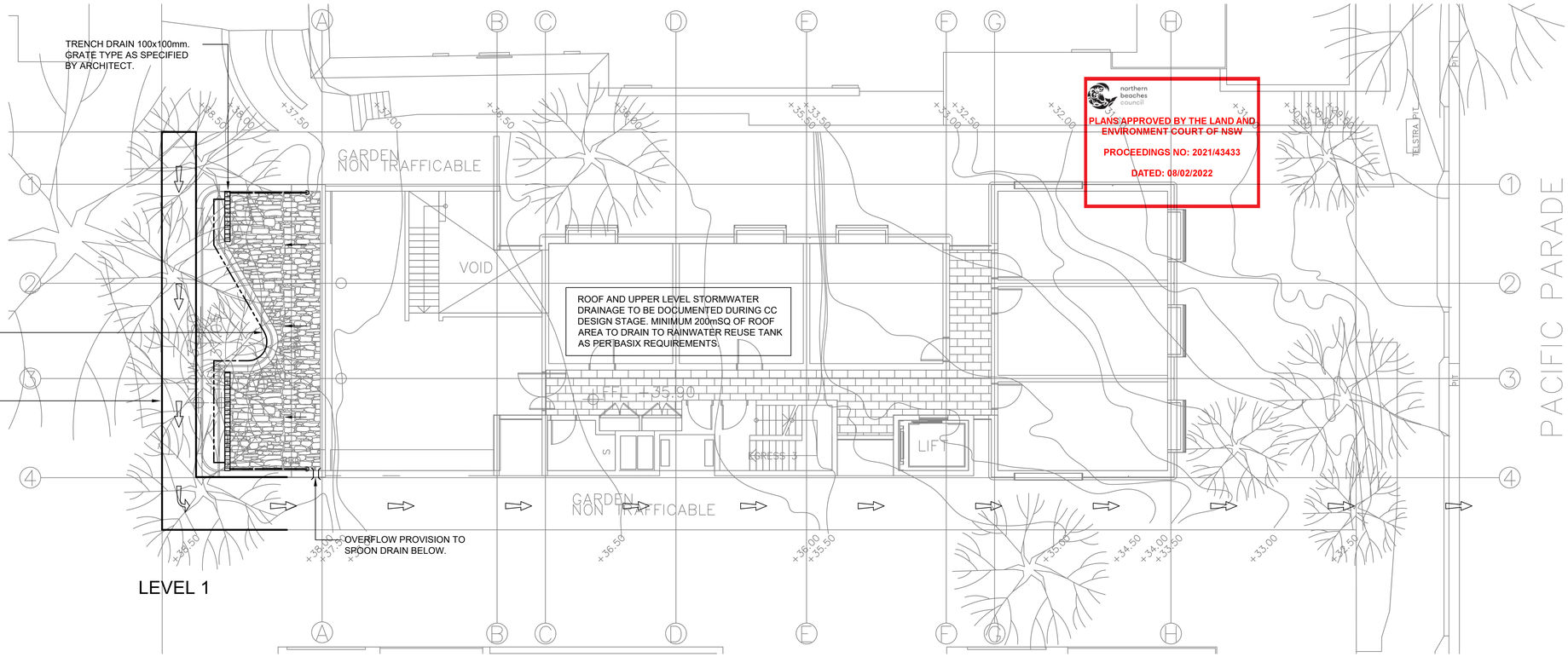
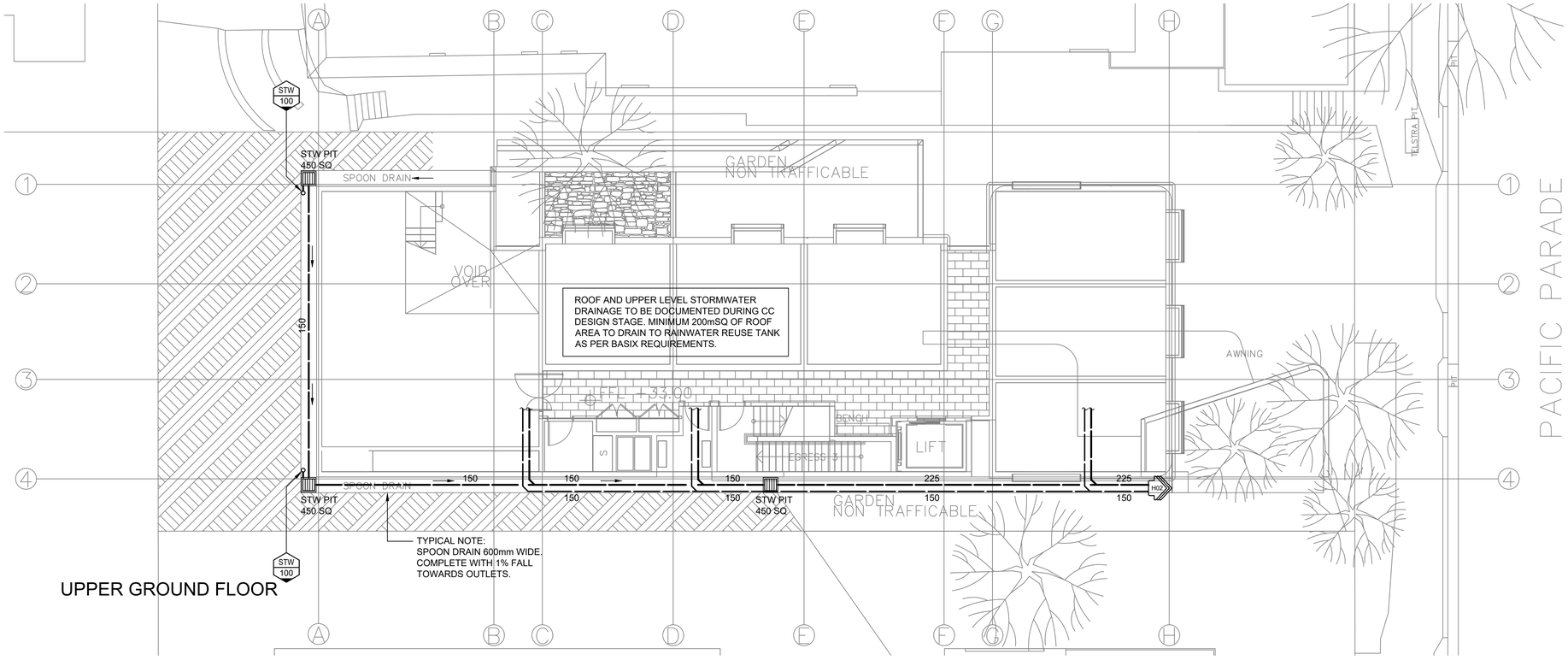


northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022



REV	DESCRIPTION	DATE
B	ISSUED FOR DA	17.11.2020
A	ISSUED FOR DA	12.11.2020

CLIENT
BL 2093 PTY LTD

ARCHITECT
BENSON McCORMACK ARCHITECTURE

HYDRAULIC CONSULTANT
itm design pty ltd
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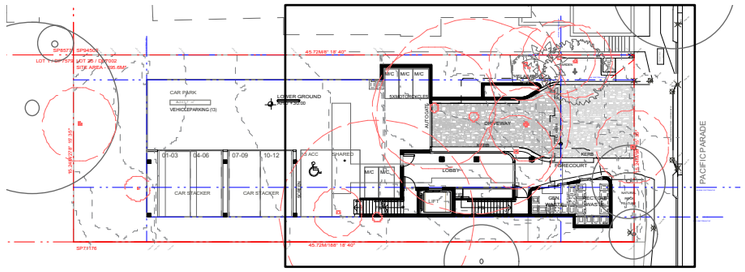
po box 1438 mona vale nsw 1660
tel (02) 9997 1566 fax (02) 9997 3266
email: markus@itmdesign.com.au

PROJECT
67 PACIFIC PDE
DEE WHY NSW

DRAWING TITLE
STORMWATER SERVICES
UPPER GROUND FLOOR & LEVEL 1 PLAN

DISCIPLINE	ENGINEER	SCALE @ A1
HYD	PC	1:100@A1 1:200@A3
PROJECT No.	DRAWING No.	REVISION
20-110	H-DA-03	B



Key Plan:
Scale: 1:500

LEGEND:

- Existing tree - retain
- Existing tree - remove
- Site Boundary
- Existing Spot Level
- Proposed Spot Level

northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022

45.72M/8° 18' 40"

45.72M/188° 18' 40"

15.24M/98° 15' 35"

6.5M SETBACK

VER GROUND
D +30.00

M/C M/C M/C
5X MOTORCYCLES

AUTO GATE

DRIVEWAY

KERB

13 ACC

SHARED

M/C M/C

LOBBY

FORECOURT

SCREEN

LIFT

FIP

FS

FS

GEN. WASTE

RECYCLE WASTE

NATURAL ROCK FEATURE

EXPOSED ROCKFACE

GARDEN

SLAB ABOVE

DRIVEWAY CROSSING.

WIDEN EXISTING CROSSING

FOOTPATH

TELSTRA PIT

PIT

AHD +30.00

TURF TO GROUND AT FIRE BOOSTER.

1 Livistona
1 Grevillea 'H.G.'
1 Tristaniopsis
10 Dianella 'S.S'

PLANTER WALLS TO ARCHITECTS DETAIL.

EXISTING DRIVEWAY CROSSING TO BE WIDENED TO COUNCIL SPECIFICATION

25 Lomandra 'T.'

Matthew Higginson Landscape Architecture Pty Ltd po box 353 five dock nsw 2046 t 0414 725 944 e mhla@mhla.com.au

DEVELOPMENT APPROVAL

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issue	date	description
01	05.11.20	Preliminary issue for comment
A	10.11.20	Amend to comments. DA issue.
B	24.11.20	Coord with AIA. DA issue.
C	30.04.21	Update to arch. Amend to comments. DA issue.

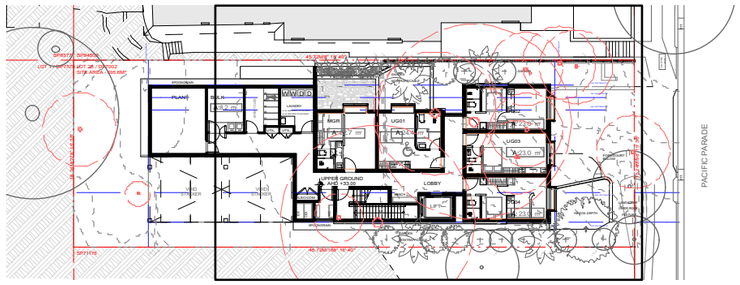
project
67 Pacific Parade Dee Why NSW

client
BL2093 Pty Ltd

drawing title
Landscape Plan : Lower Ground

scale	project no.	drawing no.	issue
1:100 @ A3	20865	LP01	C

north



Key Plan:
Scale: 1:500

LEGEND:

- Existing tree - retain
- Existing tree - remove
- Site Boundary
- Existing Spot Level
- Proposed Spot Level

northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022

15 Cissus TRAINED TO S/S WIRE TRELLIS TO FACE OF CUTTING.
0.5m DEEP PLANTER OVER BASEMENT TO ARCHITECTS DETAIL.
18 Dianella 'S.S.'
1 No. DEEP SOIL PLANTERS FORMED WITH 12mm THK CORTEN® STEEL EDGING TO RETAIN SOIL DEPTH TO 1000mm TO SUPPORT TREE PLANTING:
1 Archontophoenix
6 Hardenbergia
5 Philodendron
1 Syzygium 'C.'
3 Doryanthes
5 Hardenbergia
1 Archontophoenix
2 Melaleuca 'R.G.'
RETAINING WALLS TO ARCHITECTS DETAIL.
8 Bambusa UNDERPLANTED WITH 8 Clivia
45.72M/8° 18' 40"
A: 11.1 m²
GARDEN
ON TRAFFICABLE
VWD D
LAUNDRY
X WASHER STACKED
X DRYER STACKED
TIL.
MGR
A: 22.7 m²
UG01
A: 24.4 m²
UG02
A: 23.0 m²
UG03
A: 23.0 m²
UG04
A: 23.0 m²
UPPER GROUND
AHD +33.00
LOBBY
BENCH
LIFT
FS
ELEC/COM
EX
CEX
AC
SPOON DRAIN
2.5M SETBACK
2M SETBACK
3M SETBACK
4M SETBACK
TELSTRA PIT
FORECOURT BELOW
AWNING
15.24M/98° 15' 35"
EXPOSED ROCK FACE
LANDSCAPE OVER ROCK FEATURE
RETAIN EXISTING TREES (FRANGIPANI). REMOVE SHRUBS UNDER AND PREPARE GARDEN FOR NEW PLANTING;
1m DEEP PLANTER TO ARCHITECTS DETAIL.
6 Syzygium 'A.B.'
3 Doryanthes
7 Philodendron
5 Westringia 'M.'
1 Elaeocarpus
10 Lomandra 'T.'
2 Grevillea 'H.G.'
45.72M/188° 18' 40"
1 Archontophoenix
2 Syzygium 'C.'
400 DEEP PLANTER;
5 Clivia
1 Livistona
3 Melaleuca 'R.G.'
north

Matthew Higginson Landscape Architecture Pty Ltd po box 353 five dock nsw 2046 t 0414 725 944 e mhla@mhla.com.au

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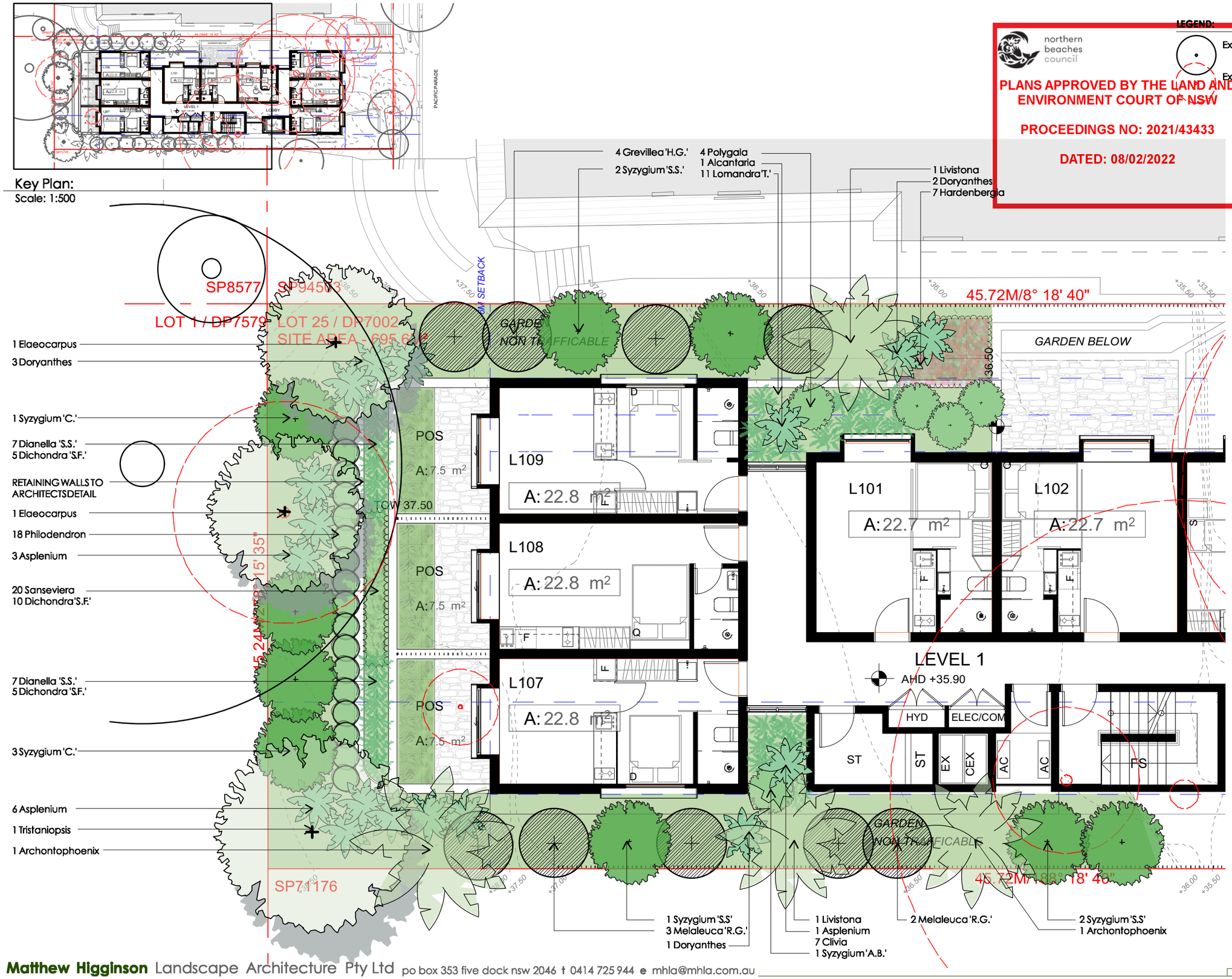
project
67 Pacific Parade Dee Why NSW

client
BL2093 Pty Ltd

drawing title
Landscape Plan : Upper Ground

scale	project no.	drawing no.	issue
1:100 @ A3	20865	LP02	C



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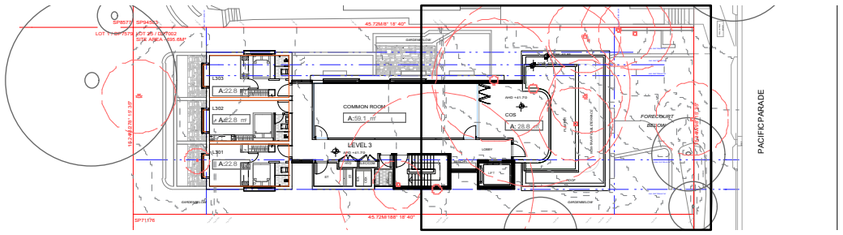
project
67 Pacific Parade Dee Why NSW

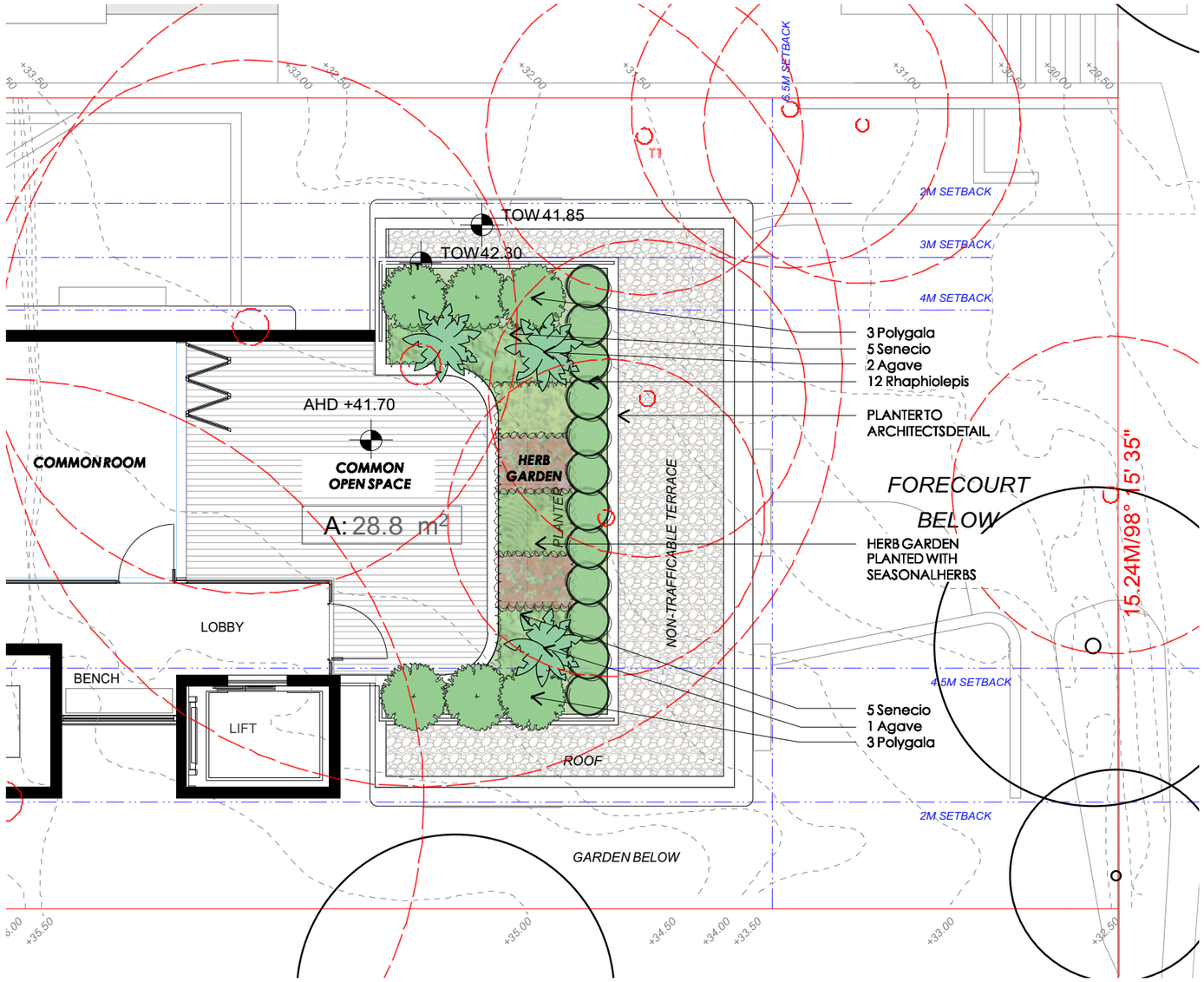
client
BL2093 Pty Ltd

drawing title
Landscape Plan : Level 1

scale	project no.	drawing no.	issue
1:100 @ A3	20865	LP03	C



Key Plan:
Scale: 1:500



PLANT SCHEDULE

northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
PROCEEDINGS NO: 2021/43433
DATED: 08/02/2022

Botanic Name	Common Name	Supply Size (mm/L)	Mature Height	Mature Spread	Qty
Trees					
Archontophoenix cunninghamiana	Bangalow Palm	100L	18m	4m	4
Elaeocarpus reticulatus	Blueberry Ash	100L	10m	4m	3
Livistona australis	Cabbage Tree Palm	100L	15m	3m	4
Syzygium 'Southern Select'	Southern Select Scrub Cherry	100L	6m	3m	5
Tristaniopsis laurina	Water Gum	100L	8m	5m	2
Shrubs					
Agave attenuata	Agave	200mm	1m	1m	3
Alcantaria imperalis	Imperial Bromeliad	300mm	1m	1m	1
Bambusa textilis 'Fernleaf Stripestem'	Fernleaf Stripestem Bamboo	300mm	8m	2m	8
Doryanthes excelsa	Gymea Lily	45L	1.2m	1.2m	12
Grevillea 'Honey Gem'	Honey Gem Grevillea	45L	3m	2m	7
Melaleuca 'Revolution Green'	Revolution Green Myrtle	45L	5m	2m	10
Philodendron 'Xanadu'	Xanadu Philodendron	300mm	0.9m	0.9m	30
Polygala myrtifolia	Milkwort	300mm	1.5m	1.5m	10
Rhaphiolepis 'Snow Maiden'	Snow Maiden Pearl Hawthorn	200mm	1m	1m	12
Syzygium 'Aussie Boomer'	Aussie Boomer Dwarf Lily Pily	300mm	1.5m	1.5m	7
Syzygium 'Cascade'	Cascade Lily Pily	45L	3m	2m	7
Westringia 'Mundi'	Mundi Coast Rosemary	300mm	0.5m	1.5m	5
Groundcovers					
Asplenium nidus	Birds Nest Fern	200mm	1m	1m	10
Cissus antarctica	Kangaroo Vine	200mm	0.3m	2m	15
Clivia miniata	Clivia	140mm	0.6m	0.6m	20
Dianella 'Silver Streak'	Silver Streak Flax lily	140mm	0.7m	0.7m	32
Dichondra 'Silver Falls'	Silver Falls Kidney Weed	140mm	0.1m	1m	20
Hardenbergia violacea	False Sarsparilla	140mm	0.3m	1m	13
Lomandra 'Tanika'	Tanika Mat Rush	140mm	0.7m	0.7m	46
Sanseviera trifasciata 'Laurentii'	Mother in Laws Tongue	200mm	0.7m	0.3m	20
Senecio serpens	Blue Chalk Sticks	140mm	0.1m	1m	10

Archontophoenix

Elaeocarpus reticulatus

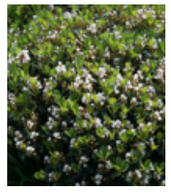
Livistona

Tristaniopsis laurina

Syzygium

Asplenium

Grevillea 'Honey Gem'


Rhaphiolepis

Agave attenuata

Dianella

Matthew Higginson Landscape Architecture Pty Ltd po box 353 five dock nsw 2046 t 0414 725 944 e mhla@mhla.com.au

north

DEVELOPMENT APPROVAL

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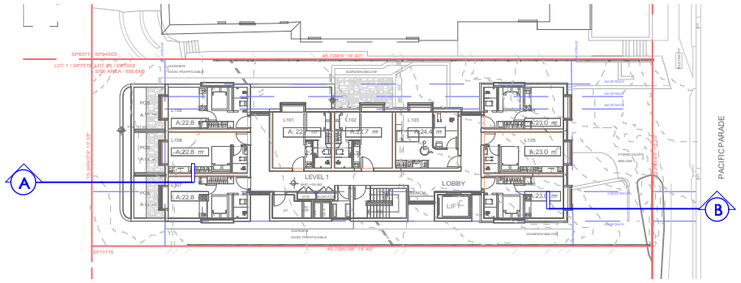
01	05.11.20	Preliminary issue for comment
A	10.11.20	Amend to comments. DA issue.
B	24.11.20	Coord with AIA. DA issue.
C	30.04.21	Update to arch. Amend to comments. DA issue.

project
67 Pacific Parade Dee Why NSW

client
BL2093 Pty Ltd

drawing title
Landscape Plan : Level 3

scale	project no.	drawing no.	issue
1:100 @ A3	20865	LP04	C



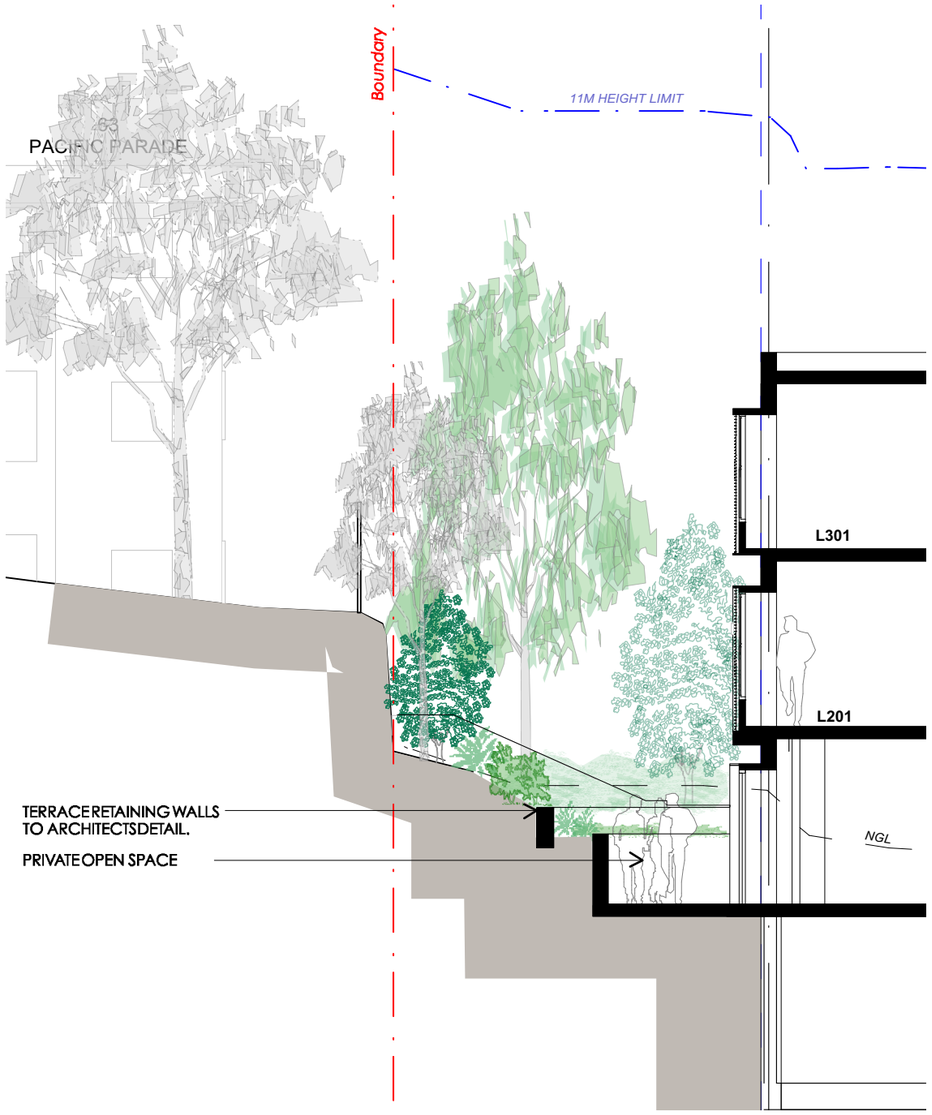
Key Plan:
Scale: 1:500

northern beaches council

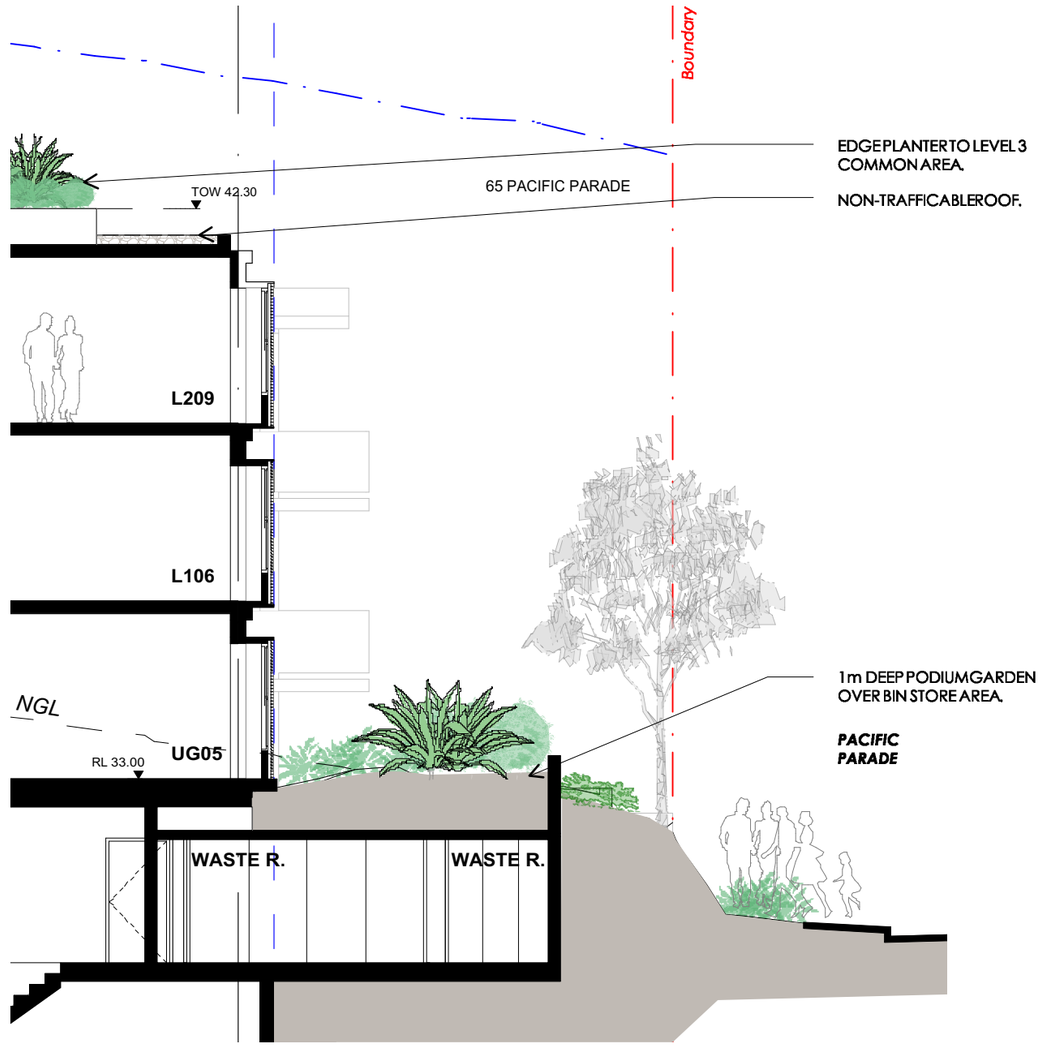
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2021/43433

DATED: 08/02/2022



01 Section A
Scale: 1:100



02 Section B
Scale: 1:100

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C	30.04.21	Update to arch. Amend to comments DA issue.

project
67 Pacific Parade Dee Why NSW

client
BL2093 Pty Ltd

north

drawing title
Landscape Plan : Sections

scale	project no.	drawing no.	issue
1:100 @ A3	20865	LP05	C